



Minor Variance Application Planning Justification Report

To: City of Orillia
Attention: Jeff Duggan, Senior Planner, City of Orillia

Date: March 6, 2025

Delivered: by Email

Subject Property: 245 Bay Street, City of Orillia

1.0 INTRODUCTION

MORGAN Planning & Development Inc. (hereinafter referred to as MP&D) was retained by Mr. Howard Lee, the owner of 245 Bay Street to review the applicable planning policies and to confirm if a minor variance application to permit the installation of a two storey garage with an additional dwelling unit on the second storey would be required.

After reviewing the policy environment, MP&D determined that a minor variance would be required to support the proposed garage and additional dwelling unit, and further, that the required minor variance would meet the four tests of the *Planning Act*.

MP&D was subsequently retained by the property owner to prepare this Planning Justification Report and to facilitate the minor variance approval process.

2.0 DEVELOPMENT PROPOSAL

The owner of 245 Bay Street proposes to construct a two (2) storey detached garage towards the rear of the property, which would include one (1) additional residential unit located within the second storey. As well, the application proposes to construct an attached deck to the rear of the principal dwelling on the property, along with a one storey addition at the rear of the principal dwelling.

The proposed detached garage and deck will require the approval of the two (2) requested minor variances, which are explained in detail in Sections 5.0 and 6.3 of this Report. The aforementioned one storey addition to the principal dwelling is compliant with the zoning by-law.

The first storey of the proposed structure will facilitate garage/storage space, along with a stairway to the second storey. The second storey, as previously mentioned, will facilitate a living space, including a living/dining room, a kitchen, a bedroom, a bathroom, a closet, and a balcony. It is also worth noting that an extension to the existing driveway would be required to facilitate the detached structure.

The detached garage has been designed by Jan Tymstra. Drawings of the site and proposed structure can be seen below in *Figures 1 to 5*.

Figure 1 Proposed Conceptual Site Plan of 245 Bay Street

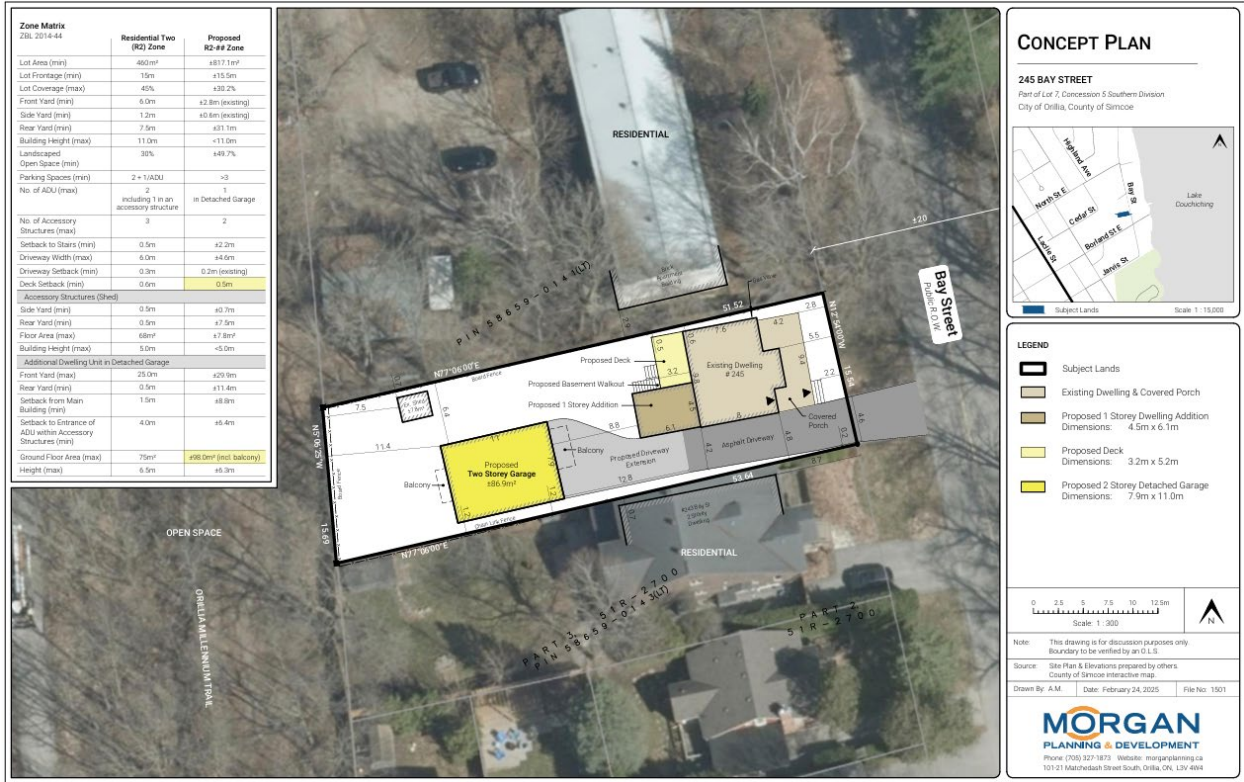


Figure 2 Floor Plan of Detached Two Storey Garage

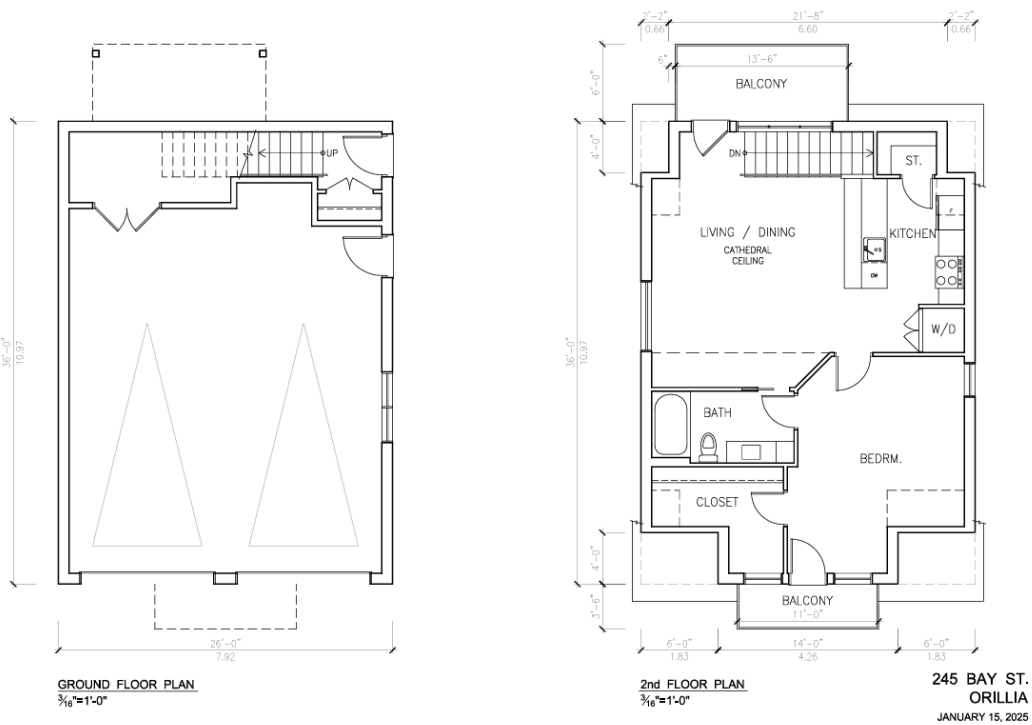


Figure 3 East/West Facing Elevation Drawings



245 BAY ST.
 ORILLIA
 JANUARY 15, 2025

Figure 4 South Facing Elevation Drawing



245 BAY ST.
 ORILLIA
 JANUARY 15, 2025

Figure 5 North Facing Elevation Drawing



245 BAY ST.
ORILLIA
JANUARY 15, 2025

3.0 LOCATION AND DESCRIPTION OF LAND

The subject property (245 Bay Street) is located on the west side of Bay Street, which is typified by low density residential development. The east side of Bay Street is located adjacent to the west shoreline of Lake Couchiching.

The subject property has 15.5 meters of frontage onto By Street, and 817.1 square meters of lot area.

The property is currently developed with a two-storey dwelling accessed via a driveway South of the dwelling. The existing dwelling has significant porch space, and is located in an area with a high amount of tree shade.

An existing shed is located towards the rear of the property which will remain in place throughout the development process. The subject property backs onto 'Lightfoot Trail' which is covered by large trees, providing privacy on the subject property.

The subject property is municipally serviced with water and sanitary services.

An aerial imagery and street view of the subject property can be seen in *Figures 6 and 7*.

Figure 6 Aerial Image of Property and Surrounding Uses



Figure 7 Street View of 245 Bay Street



3.1 Surrounding Uses

The surrounding land uses are categorized as follows

North: The property is bound to the north by a townhouse development.

East: The property is bound to the east by Bay Street, followed by Shoreline Residential properties.

South: The property is bound to the south by a developed residential property.

West: The property is bound to the west by Lightfoot Trail.

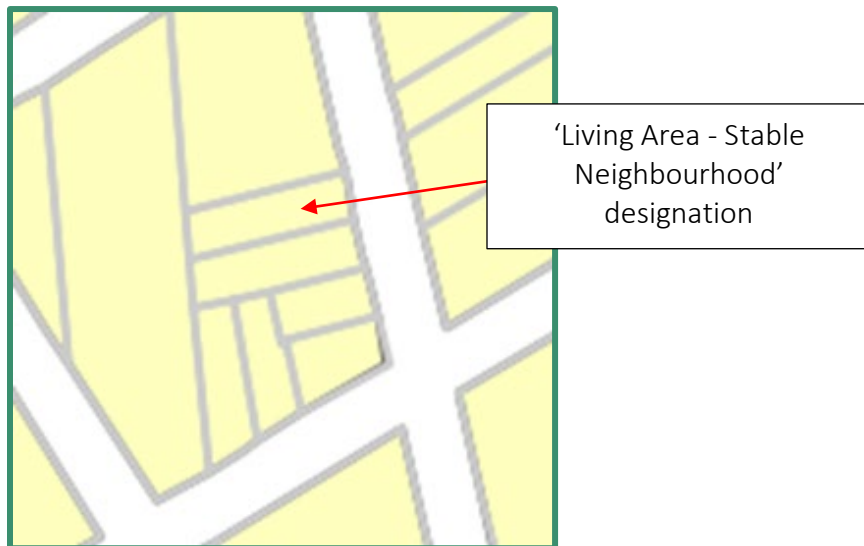
4.0 OFFICIAL PLAN AND ZONING BY-LAW

4.1 City of Orillia Official Plan (2021)

The entirety of the subject property is designated 'Living Area - Stable Neighbourhood' by Land Use Schedule A of the City of Orillia Official Plan. The City's 'Stable Neighbourhood' designation is consistent with the land use designation applied to most of the low density residential areas within the City of Orillia.

The image below is an excerpt from the City of Orillia's Official Plan Schedule A which illustrates the applicable 'Living Area - Stable Neighbourhood' land use designation.

Figure 8 City of Orillia Official Plan



4.2 City of Orillia By-Law 2014-44

The subject property is zoned 'Residential Two (R2)'. Figure 9 is an excerpt from the City of Orillia's Zoning By-Law (Map 8). 'Additional Dwelling Units' and 'Single Detached Dwelling' are both listed as permitted uses under Section 7.3 of the City of Orillia Zoning Bylaw.

Figure 9 City of Orillia Zoning By-Law



5.0 Overview of Proposed Minor Variance

The minor variance application proposes the following two variances:

- 1) Relief from ZBL Section 5.6.1.a).ii) to permit a reduced minimum side yard setback for an attached deck to a principal structure, not located on a waterfront property. The variance would reduce the minimum from half of the required minimum side yard of the principal structure (0.6 meters) to 0.5 meters.
- 2) Relief from ZBL Section 5.2.2.1 – Table 5.4 to permit an increased maximum Ground Floor Area for an Accessory Dwelling Unit in an Accessory Structure (from 75.0 square meters) to 98.0 square meters (including balcony).

A complete analysis of the Four (4) tests of a Minor Variance is provided in Section 6.3 of this Report.

5.1 Zoning Compliance Matrix

A complete zoning compliance matrix can be seen below in *Table 1*.

Table 1: Zoning Compliance Matrix – 245 Bay Street		
Provision	Permitted (R2 Zone)	Proposed (245 Bay Street)
Lot Area (Min)	460.0 m ²	817.1 m ²
Lot Frontage (Min)	15.0 m	15.5 m
Lot Coverage (Max)	45%	30.2%
Front Yard (Min)	6.0 m	2.8 m (existing)
Side Yard (min)	1.2 m	0.6 m (existing)
Rear Yard (min)	7.5 m	31.1 m
Building Height (Max)	11.0 m	<11.0m (existing)
Landscaped Open Space (Min)	30%	49.7%
Parking Spaces (Min)	2+1/ADU	>3
No. of ADU (Max)	2 including 1 in an accessory structure	1 in detached garage/accessory structure
No. of Accessory Structures (Max)	3	2
Setback to Stairs (Min)	0.5 m	2.2 m
Driveway Width (Max)	6.0 m	4.6 m
Driveway Setback (Min)	0.3 m	0.2 m (existing)
Deck Setback (Min)	0.6 m	0.5 m
Accessory Structures (Shed)		
Side Yard (Min)	0.5 m	0.7 m
Rear Yard (Min)	0.5 m	7.5 m
Floor Area (Max)	68.0 m ²	7.8 m ²
Building Height (Max)	5.0 m	<5.0 m
Additional Dwelling Unit in Detached Garage		
Front Yard (Min)	25.0 m	29.9 m
Rear Yard (Min)	0.5 m	11.4 m
Setback From Main Building (Min)	1.5 m	8.8 m
Setback to Entrance of ADU within Accessory Structures (Min)	4.0 m	6.4 m
Ground Floor Area (Max)	75.0 m ²	98.0 m ²
Height (Max)	6.5 m	6.3 m

Highlighted = Variance Required

6.0 PLANNING JUSTIFICATION

In order to generate an opinion, the following documents were reviewed by MORGAN Planning & Development Inc.:

- The Planning Act R.S.O. 1990, c. P. 13
- The Provincial Planning Statement (2024)
- City of Orillia Official Plan (Consolidated October 2024)
- Township of Orillia Zoning By-law (2014-44)

6.1 The Planning Act R.S.O. 1990, c. P. 13

The following table provides an overview of the Provincial Interest as outlined in Section 2 of the *Planning Act*.

Section 2 of the Planning Act (Provincial Interest)	
<i>The Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,</i>	
	Morgan Planning Comment:
<i>(a) the protection of ecological systems, including natural areas, features and functions;</i>	There are no mapped natural heritage features on or adjacent to the subject property. Therefore, not applicable.
<i>(b) the protection of the agricultural resources of the Province;</i>	The subject property is located within the City of Orillia. Therefore, not applicable.
<i>(c) the conservation and management of natural resources and the mineral resource base;</i>	Not applicable.
<i>(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;</i>	There are no features of significant architectural, cultural, historical, archaeological, or scientific interest on or adjacent to the property. Therefore, not applicable. It is worth noting that the property backs onto the 'Lightfoot Trail'. The proposed development will not negatively impact this multi-use trail.
<i>(e) the supply, efficient use and conservation of energy and water;</i>	The dwelling will continue to be serviced via municipal water services.
<i>(f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;</i>	Subject property will maintain access to telecommunication services. Subject property can be accessed via Bay Street. Subject property will continue to be serviced via municipal sewage and water systems.

	Subject property will have access to municipal waste management and collection programs.
<i>(g) the minimization of waste;</i>	Subject property will have access to municipal waste management and collection programs.
<i>(h.1) the accessibility for persons with disabilities to all facilities, services and matters to which this Act applies;</i>	Not Applicable.
<i>(i) the adequate provision and distribution of educational, health, social, cultural and recreational facilities;</i>	Not Applicable.
<i>(j) the adequate provision of a full range of housing, including affordable housing;</i>	The proposed application adds one (1) new residential dwelling unit located above the proposed detached garage to the property, contributing to the range of housing types within Orillia.
<i>(k) the adequate provision of employment opportunities;</i>	Not Applicable.
<i>(l) the protection of financial and economic well-being of the Province and its municipalities;</i>	Not Applicable.
<i>(m) the co-ordination of planning activities of public bodies;</i>	Not Applicable.
<i>(n) the resolution of planning conflicts involving public and private interests;</i>	Not Applicable.
<i>(o) the protection of public health and safety;</i>	Not Applicable.
<i>(p) the appropriate location of growth and development;</i>	The subject property is located within a 'Settlement Area' where residential development is permitted. The applicable municipal land use designations and zoning also permit single detached dwellings and additional residential units.
<i>(q) the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;</i>	Not Applicable.
<i>(r) the promotion of built form that, (i) is well-designed, (ii) encourages a sense of place, and</i>	(i)The proposed addition to the existing dwelling will comply to current Ontario Building Code requirements; (ii)The proposed addition to the existing dwelling, and accessory structure fit within the surrounding context of the built environment; and,

<i>(iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;</i>	(iii) The multi-use trail adjacent to the property will not be negatively impacted by the proposed development.
<i>(s) the mitigation of greenhouse gas emissions and adaptation to a changing climate</i>	Not Applicable.

It is the professional opinion of the undersigned that the proposed development will be consistent with the Provincial Interests outlined in section 2 of The Planning Act.

6.2 Provincial Planning Statement (2024)

The Provincial Planning Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The subject property is located within the City of Orillia, placing it under the ‘Settlement Area’ designation in accordance with the PPS.

The ‘Settlement Area’ policies of the PPS are outlined in Section 2.3. Section 2.3.1.1 states that *Settlement areas shall be the focus of growth and development*. As previously mentioned, the subject property is located within a settlement area as it is defined by the PPS. Furthermore, section 2.3.1.2.a) states that *Land use patterns within settlement areas should be based on densities and a mix of land uses which efficiently use land and resources*. The proposed additional dwelling unit will be located on a lot which already facilitates a residential dwelling, facilitating an efficient use of the space on the subject property.

As well, general intensification and redevelopment shall be supported in Settlement Areas including planning for a range and mix of housing options in accordance with section 2.3.1.3. The additional residential unit will provide an increased range of housing on Bay Street, as well as creating a mix of housing on the property and in the surrounding area.

Section 3.6.2 states that *Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas*. The subject property, including the proposed ADU is currently and will continue to be serviced municipally with water and sanitary.

Section 3.9.1.b) states that providing a full range of built and natural settings for recreation, including trails, shall be promoted to facilitate healthy, active, and inclusive communities. The subject property backs onto ‘Lightfoot Trail’, and there are no negative impacts to the trail or the surrounding natural area associated with the proposed development.

The natural heritage policies of the PPS are located in Section 4.1. It is worth noting that there are no mapped natural heritage features on or adjacent to the subject property.

The Natural Hazards policies of the PPS are located in Section 5.2. It is worth noting that there are no mapped natural hazards or dynamic beaches located on or adjacent to the subject property.

It is the professional opinion of the undersigned that the proposed development is consistent with the policies of the Provincial Planning Statement.

6.3 The Four Tests of a Minor Variance

In formulating the planning rationale for any minor variance application, the applicant and the approval authority must consider the following 4 tests:

1. Is the variance minor when considering the impact on adjacent properties and/or uses?
2. Is the variance desirable for the appropriate development of the land?
3. Is the general intent and purpose of the zoning by-law maintained?
4. Is the general intent and purpose of the official plan maintained?

The following is a detailed planning analysis which addresses each of the proposed variances.

Relief from ZBL Section 5.6.1.a).ii) to permit a reduced minimum side yard setback for an attached deck to a principal structure, not located on a waterfront property. The variance would reduce the minimum from half of the required minimum side yard of the principal structure (0.6 meters) to 0.5 meters. AND Relief from ZBL Section 5.2.2.1 – Table 5.4 to permit an increased maximum Ground Floor Area for an Accessory Dwelling Unit in an Accessory Structure (from 75.0 square meters) to 98.0 square meters (including balcony).	
Minor Variance Tests	Planning Justification
Is the impact of the variance minor?	<p>The test of what is considered minor is not based on a numerical value; rather, it is a test of overall impact resulting from the development on adjacent properties, as well as the community as a whole.</p> <p>Minimum Side Yard Setback – Deck</p> <p>Numerically, however, the proposed variance for a reduced side yard setback for an attached deck is also minor in nature. The proposed variance to permit a 0.5 meter setback is only 0.1 meters less than what is currently permitted (0.6 meters).</p> <p>Furthermore, the nature of the development on the property to the North (271 Bay Street) will not facilitate a situation in which the encroaching deck will negatively impact the residents or enjoyability of the adjacent property.</p>

	<p>There are no anticipated negative impacts visually or physically on surrounding properties or the natural environment on the subject property. As well, the principal dwelling will continue to function as it currently does and will continue to be accessible from both yards after the introduction of the proposed deck.</p> <p>Increased Maximum GFA (Additional Dwelling Unit within an Accessory Structure)</p> <p>The increased maximum Ground Floor Area for an Additional Dwelling Unit in an Accessory Structure can be considered minor for several reasons. The first of which being that there are little to no negative impacts on the surrounding properties. The proposed structure is set back far enough on the lot that it will not impact sightlines from neighbouring properties or from Bay Street.</p> <p>As well, the variance will recognize the detached garage in a location that complies with the required setbacks from all lot lines.</p> <p>Furthermore, the lot will continue to function as it is intended to, continuing to facilitate a residential use, as well as introducing one new residential unit to the property, as permitted by the City’s Zoning Bylaw and Official Plan.</p> <p>On the basis of the foregoing, it is the opinion of the undersigned that the variances requested are minor in nature.</p>
<p>Is the variance desirable for the appropriate development?</p>	<p>The test of desirability relates to whether development is in the public interest.</p> <p>Minimum Side Yard Setback – Deck</p> <p>The subject site is designated and zoned to permit residential uses, and associated accessory uses. The proposed development will provide an opportunity to continue to use the subject property for residential purposes on a residential lot in such a way that would be in-keeping with the built context and character of the area.</p> <p>The location of the proposed deck will not impact the ability of surrounding properties to physically or visually enjoy their lots and the amenities that come with them.</p> <p>As previously mentioned, the proposed development will not have a significant negative impact on the vegetation on the property.</p>

	<p>It is worth noting, that the existing dwelling meets many of the required zoning provisions, and the provisions which are deficient have been long standing and have not caused any issues in the past. Further, the proposed structures adhered to the constraints of the Zoning Provisions for the R2 Zone.</p> <p>Increased Maximum GFA (Additional Dwelling Unit within an Accessory Structure)</p> <p>The requested variance for an increased maximum Ground Floor Area of the proposed additional dwelling unit is desirable for the appropriate development of land for several reasons.</p> <p>Firstly, because of the significant setback from Bay Street to the accessory structure, it will not appear as an eyesore or as anomalous to the surrounding area in any way. As well, its location on the property allows for unrestricted and open access to all parts of the subject lot and neighbouring lot due to its compliance with all required setbacks.</p> <p>As previously mentioned, the proposed uses of the accessory structure are permitted within the City’s Official Plan and Zoning Bylaw, which maintain the public interest outlined in the applicable designation and zoning of the property.</p> <p>It is within the public interest to maintain, as much as possible, of the vegetation on and around the subject property. The introduction of the proposed two storey garage will not negatively impact the vegetation on the property, the surrounding properties, or the ‘Lightfoot Trail’ located to the rear of 245 Bay Street.</p> <p>It is the professional opinion of the undersigned that the proposed variances are desirable for the appropriate development of the land.</p>
<p>Is the general intent and purpose of the zoning by-law maintained?</p>	<p>The subject property is zoned ‘Residential 2 (R2)’ by the City of Orillia Zoning By-law. In accordance with Table 7.1 of the Zoning Bylaw, additional dwelling unit, and single detached dwelling, are listed as permitted uses within the R2 Zone. The existing dwelling and proposed detached accessory structure are permitted on the subject property.</p> <p>The proposal complies with all Zoning By-law requirements with the exception of the minimum deck side yard setback, and maximum</p>

ground floor area for an additional dwelling unit in an accessory structure, which are addressed below.

Minimum Side Yard Setback – Deck

The intent of the minimum side yard setback provision as it relates to decks is to ensure privacy for adjacent properties as well as preventing objects and structures of obtrusive nature. This allows for a sense of open space and visual harmony.

The decrease in minimum deck setback from 0.6 m to 0.5 m will not result in a reduction of property for surrounding lots. Not only is the encroachment very marginal, but the property to the North is significantly set back from its interior side lot line that this will not be an issue.

The deck being 0.1 meters closer to the interior side lot line than permitted will not result in an anomaly to the surrounding built area, and the structure will not be of such obtrusive nature where ease of access to the backyard of 245 Bay Street will be compromised.

Increased Maximum GFA (Additional Dwelling Unit within an Accessory Structure)

The intent of the maximum ground floor area of a detached additional dwelling unit provision is to limit the relative size of the ADU to the principal dwelling. This provision ensures that the main dwelling remains the dominant structure on the property.

The existing dwelling will remain the primary dwelling on the property for several reasons. First, numerically, the proposed structure requesting a minimum GFA of 98.0 m² will still be smaller than the principal dwelling. Not only this, but the proposal facilitates a one storey addition to the principal dwelling, further emphasizing the secondary nature of the proposed accessory structure.

As well, the location and nature of the proposed ADU and garage make it secondary. It is setback from the street and hidden from view much more than the principal dwelling. Not only this, but the principal dwelling provides features like a porch, garden, and a location that confirm visually that it will remain the principal structure on the property, even with the requested increase in maximum GFA in the ADU.

	<p>It is the professional opinion of the undersigned that the requested variances are within the general intent of the Zoning Bylaw and that its purpose is maintained.</p>
<p>Is the general intent and purpose of the official plan maintained?</p>	<p>The subject property is designated ‘Living Area – Stable Neighbourhood’ in accordance with Schedule A of the City of Orillia Official Plan. Single-detached dwellings, and accessory uses, are listed as permitted uses within the ‘Stable Neighbourhood’ designation.</p> <p>The objectives of all ‘Living Area’ designations are listed in Section 3.3.2 of the City’s Official Plan and are as follows:</p> <ul style="list-style-type: none"> • <i>To protect and enhance the character and identity of existing residential neighbourhoods, such that the health, well-being and prosperity of the community is enhanced and preserved.</i> • <i>To promote higher density, transit supportive and mixed-use development in appropriate locations.</i> • <i>To encourage and facilitate the production of an appropriate range of housing forms and tenures in all neighbourhoods.</i> • <i>To encourage high quality design that is environmentally sustainable and consistent with the policies of this Plan.</i> • <i>To ensure that new development is compatible with the character of the adjacent buildings</i> • <i>To provide for complementary services and amenities which enhance the quality of ‘Living Area’ designations</i> • <i>To develop and implement design policies to guide development within the ‘Living Area’ designations.</i> <p>The neighbourhood character and identity of the area is protected as the development does not create a built form that is anomalous of the surrounding area and adjacent lots.</p> <p>A higher density on the subject property is introduced due to the introduction of one new residential unit. Furthermore, a greater range of housing options are provided with the introduction of an additional dwelling unit on the subject property.</p> <p>The proposed design of the accessory structure is of a high quality, and emphasizes the natural area, as seen in Figure 1 (site plan). Not only this, but the 2 storey garage will be compatible with the character of the surrounding buildings. It will not stick out as something that does not belong, and its setback from the street will make it less visible to passersby.</p>

	<p>The uses of amenities in the surrounding area will not be compromised by the proposed development. The development will not negatively impact the natural features of the site nor the function of the multi-use trail to the rear of 245 Bay Street.</p> <p>Based on the foregoing, it is the professional opinion of the undersigned that the requested variances maintain the intent and general purpose of the 'Living Area - Stable Neighbourhood' designation.</p>
--	---

7.0 CONCLUSION

The minor variance application proposes to construct a 98.0 m² two storey garage together with an attached deck to the principal dwelling.

The following two minor variances are required to permit the development of the proposed deck and garage/additional dwelling unit:

- 1) Relief from ZBL Section 5.6.1.a).ii) to permit a reduced minimum side yard setback for an attached deck to a principal structure, not located on a waterfront property. The variance would reduce the minimum from half of the required minimum side yard of the principal structure (0.6 meters) to 0.5 meters.
- 2) Relief from ZBL Section 5.2.2.1 – Table 5.4 to permit an increased maximum Ground Floor Area for an Accessory Dwelling Unit in an Accessory Structure (75.0 square meters) to 98.0 square meters (including balcony).

As noted within the preceding Sections of this Report it is the professional planning opinion of the undersigned that the proposed variances each meets the four tests of the Planning Act, and that the proposal represents good land-use planning.

We trust this submission is complete and respectfully request that it be considered by the Committee of Adjustment at the next available meeting.

Respectfully submitted,
MORGAN Planning & Development Inc.



Joshua Morgan, MCIP, RPP
Principal Planner



David Scarcellone, BES (Hons. Pl)
Junior Planner

Zone Matrix
ZBL 2014-44

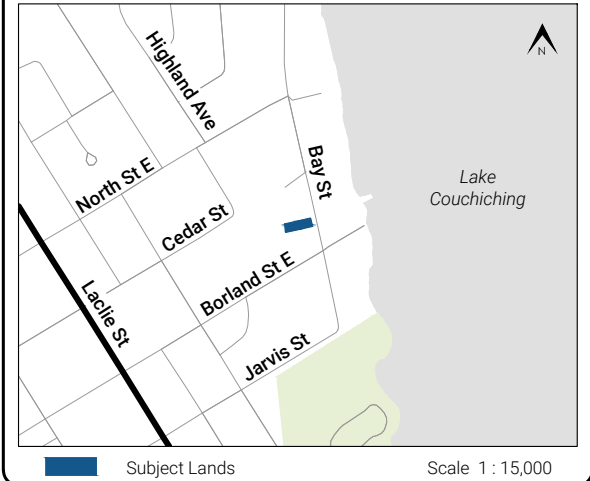
	Residential Two (R2) Zone	Proposed R2-## Zone
Lot Area (min)	460m ²	±817.1m ²
Lot Frontage (min)	15m	±15.5m
Lot Coverage (max)	45%	±29.7%
Front Yard (min)	6.0m	±2.8m (existing)
Side Yard (min)	1.2m	±0.6m (existing)
Rear Yard (min)	7.5m	±31.1m
Building Height (max)	11.0m	<11.0m
Landscaped Open Space (min)	30%	±49.7%
Parking Spaces (min)	2 + 1/ADU	>3
No. of ADU (max)	2 including 1 in an accessory structure	1 in Detached Garage
No. of Accessory Structures (max)	3	2
Setback to Stairs (min)	0.5m	±2.2m
Driveway Width (max)	6.0m	±4.6m
Driveway Setback (min)	0.3m	0.2m (existing)
Deck Setback (min)	0.6m	0.5m
Accessory Structures (Shed)		
Side Yard (min)	0.5m	±0.7m
Rear Yard (min)	0.5m	±7.5m
Floor Area (max)	68m ²	±7.8m ²
Building Height (max)	5.0m	<5.0m
Additional Dwelling Unit in Detached Garage		
Front Yard (max)	25.0m	±25.0m
Rear Yard (min)	0.5m	±16.3m
Setback from Main Building (min)	1.5m	±3.9m
Setback to Entrance of ADU within Accessory Structures (min)	4.0m	±6.4m
Ground Floor Area (max)	75m ²	±98.0m ² (incl. balcony)
Height (max)	6.5m	±6.3m



CONCEPT PLAN

245 BAY STREET

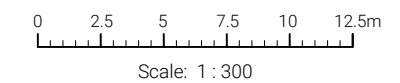
Part of Lot 7, Concession 5 Southern Division
City of Orillia, County of Simcoe



LEGEND

- Subject Lands
- Existing Dwelling & Covered Porch
- Proposed 1 Storey Dwelling Addition
Dimensions: 4.5m x 6.1m
- Proposed Deck
Dimensions: 3.2m x 2.2m
- Proposed 2 Storey Detached Garage
Dimensions: 7.9m x 11.0m

DRAFT



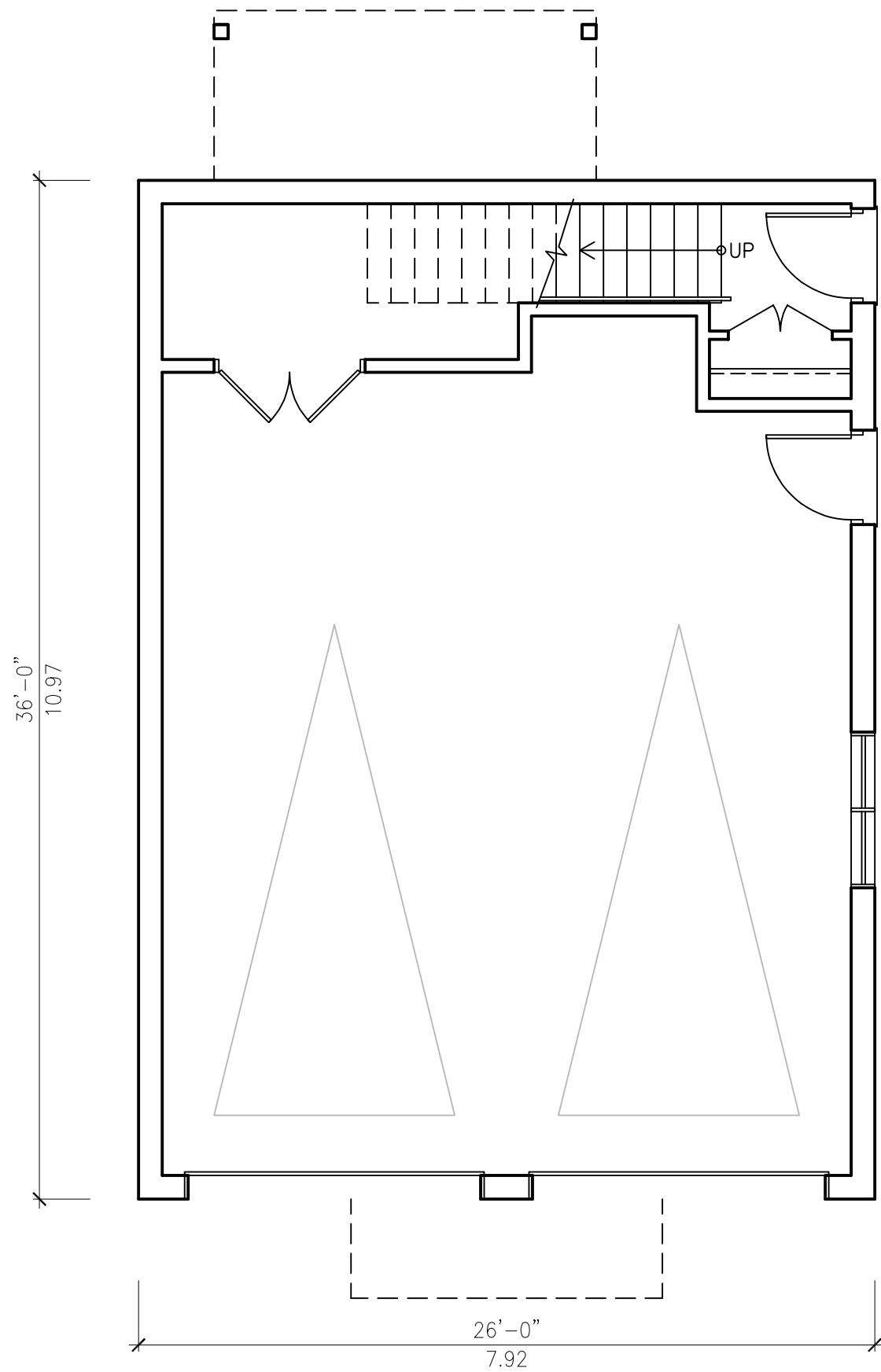
Note: This drawing is for discussion purposes only. Boundary to be verified by an O.L.S.

Source: Site Plan & Elevations prepared by others. County of Simcoe interactive map.

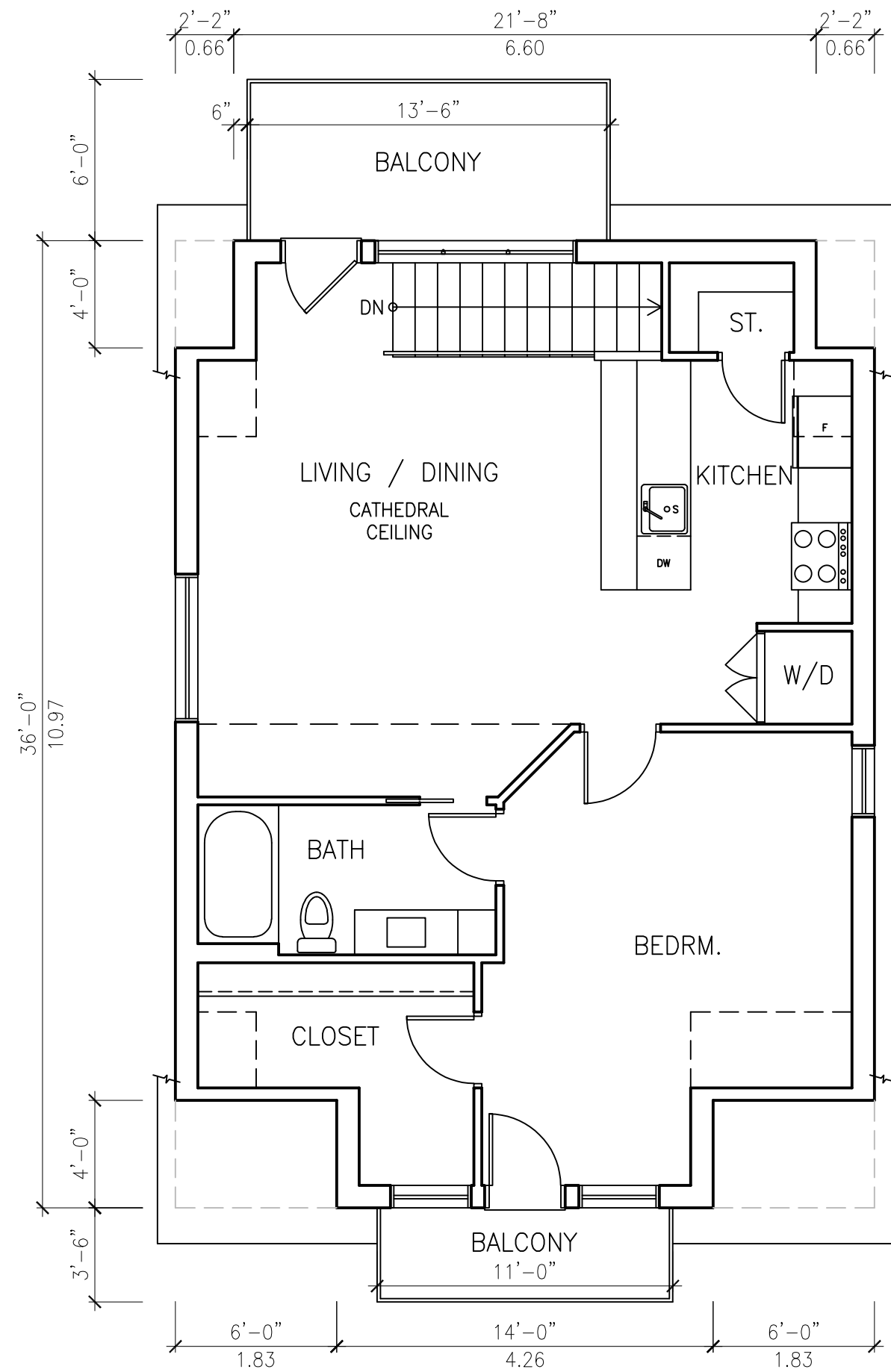
Drawn By: A.M. Date: March 12, 2025 File No: 1501



Phone: (705) 327-1873 Website: morganplanning.ca
101-21 Matchedash Street South, Orillia, ON, L3V 4W4



GROUND FLOOR PLAN
 $\frac{3}{16}"=1'-0"$



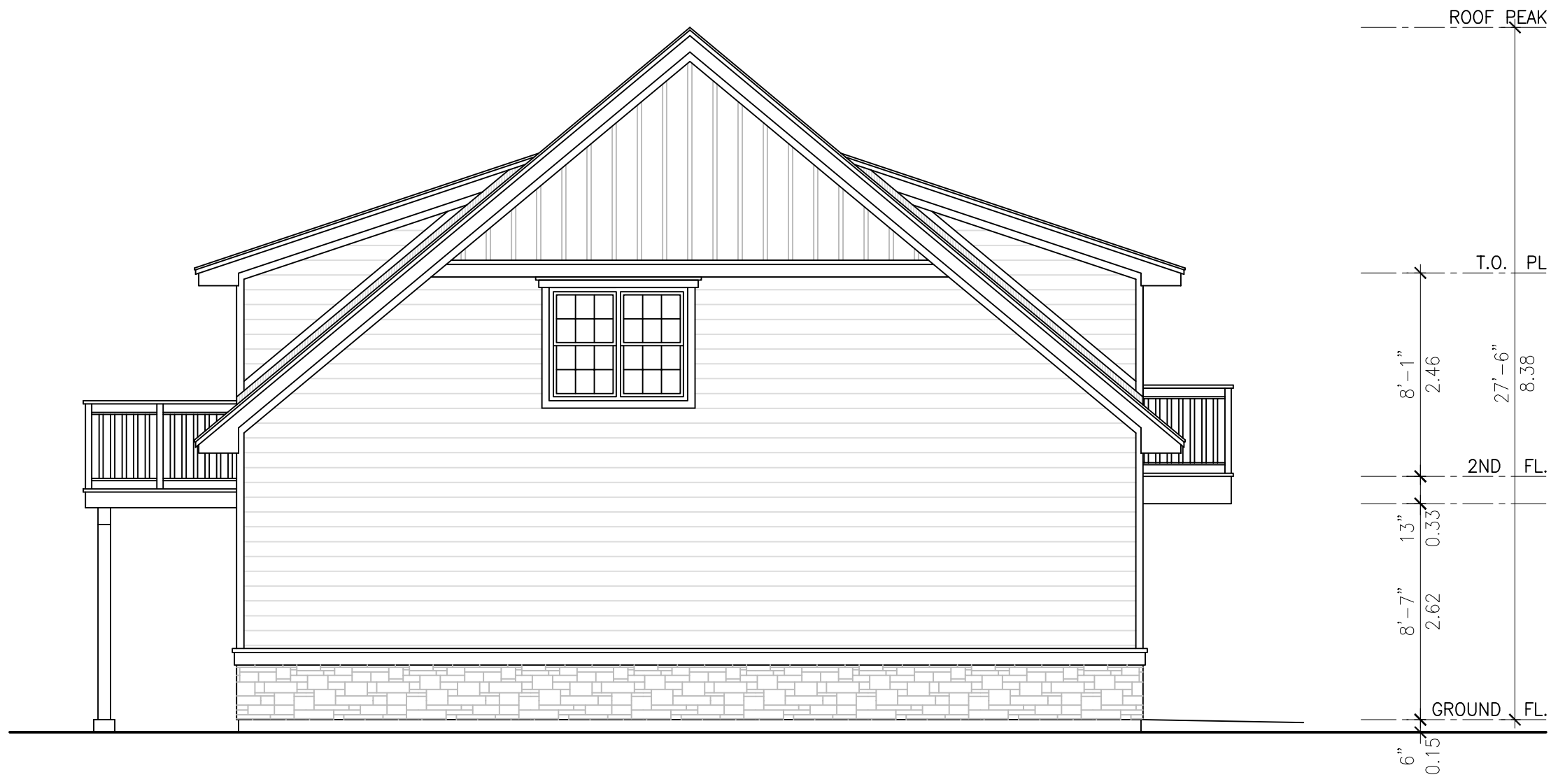
2nd FLOOR PLAN
 $\frac{3}{16}"=1'-0"$



WEST ELEVATION
 $\frac{3}{16}''=1'-0''$

EAST ELEVATION
 $\frac{3}{16}''=1'-0''$

245 BAY ST.
 ORILLIA
 JANUARY 15, 2025



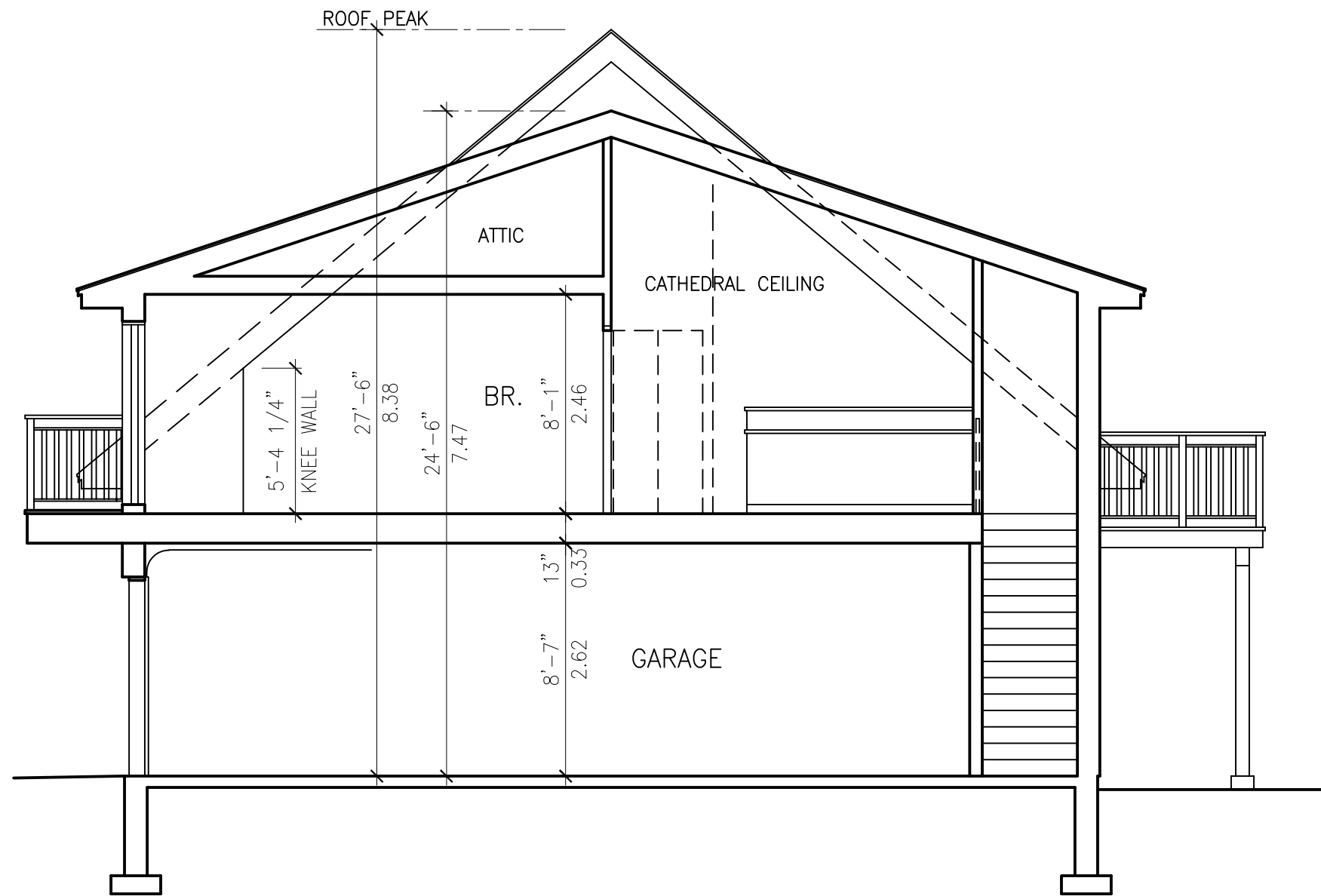
SOUTH ELEVATION
 $\frac{3}{16}'' = 1'-0''$

245 BAY ST.
 ORILLIA
 JANUARY 15, 2025



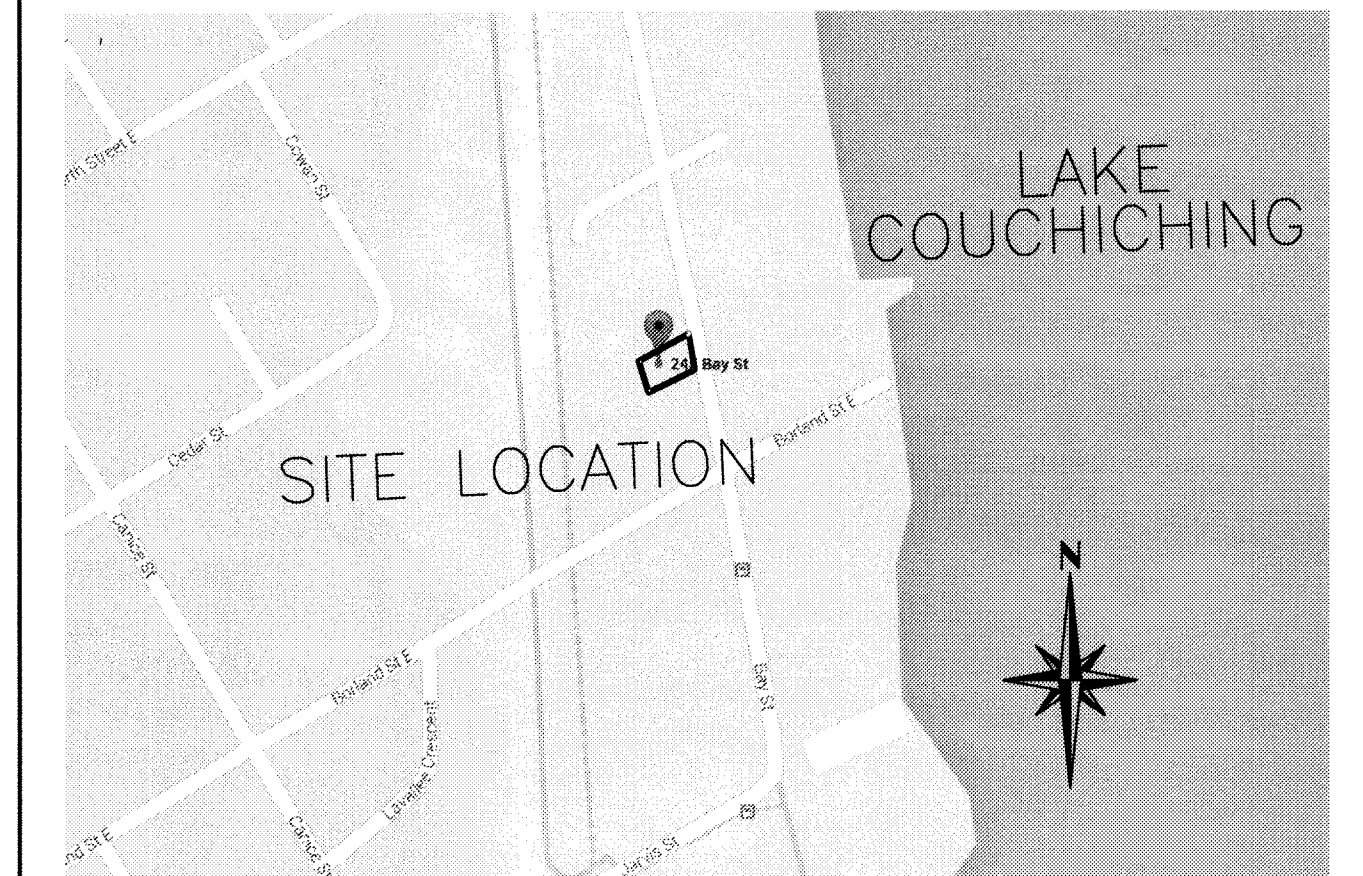
NORTH ELEVATION
 3/16"=1'-0"

245 BAY ST.
 ORILLIA
 JANUARY 15, 2025



SECTION
 $\frac{3}{16}'' = 1'-0''$

245 BAY ST.
 ORILLIA
 JANUARY 15, 2025



KEY PLAN : NOT TO SCALE

NOTE:

ALL ELEVATIONS ARE GEODETIC REFERRED TO GPS OBSERVATIONS USING THE REAL TIME NETWORK (RTN), GPS VERTICAL DATUM HTV2 (HEIGHT TRANSFORMATION VERSION 2.0). DISTANCES AND ELEVATIONS ARE EXPRESSED IN METRES AND DECIMAL PARTS THEREOF. TOPOGRAPHIC FIELD WORK COMPLETED ON NOVEMBER 11, 2015. TBM - SPIKE LOCATED IN A ROOT AT THE SOUTH EAST PROPERTY CORNER DIRECTLY ADJACENT TO BAY STREET HAVING AN ELEVATION OF 222.50 METRES. BEARINGS ARE GRID, DERIVED FROM OBSERVED REFERENCE POINTS ON MONUMENTS ONE AND TWO, BY REAL TIME NETWORK (RTN) OBSERVATIONS. UTM ZONE 17, NAD 83 (CSRS - CBNV8-2010.0) HAVING A GRID BEARING OF N12°54'00"W. BOUNDARY INFORMATION HEREON IS TAKEN FROM PLAN OF SURVEY OF PART OF LOT 27, SOUTH OF CEDAR STREET AND PART OF LOTS 33 & 34, WEST OF BAY STREET, REGISTERED PLAN 8, BY DEARDEN AND STANTON, O.L.S. ON NOVEMBER 23, 2015. FOR A BEARING COMPARISON, A ROTATION OF -1°21'30" CAN BE APPLIED TO ALL BEARINGS TO CONVERT TO ASTRONOMIC BEARINGS. DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING THE DISTANCE BY A COMBINED SCALE FACTOR OF 0.999765115. ALL DIMENSIONS AND ELEVATIONS ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AND SERVICES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS UNLESS OTHERWISE NOTED. SIDELINE GRADES OF ABUTTING PROPERTIES ARE TO REMAIN AS EXISTING. MAXIMUM CONTINUOUS LANDSCAPED SIDE SLOPES NOT TO EXCEED 3:1. ALL DISTURBED AREAS TO BE SODDED OR SEEDED OVER 75MM OF TOPSOIL.

LOT AREA: 817.1m² ±

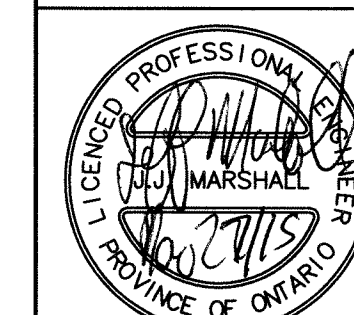
EXISTING ZONING: RESEIDENTIAL TWO - R2

SETBACKS:	REQUIRED	EXISTING
FRONT YARD	6.0m (MIN.)	5.53m (MAIN) 2.85m (PORCH)
INT. SIDE YARD	1.2m (MIN.)	0.63m
EXT. SIDE YARD	4.5m (MIN.)	N/A
REAR YARD	7.5m (MIN.)	36.12m (MAIN) 33.20m (DECK)
LOT COVERAGE	45% (MAX.)	16.7% ±

NO.	DATE	DESCRIPTION	BY
1	27/11/15	TOPOGRAPHIC PLAN RELEASED FOR COMMENT	JJM

LEGEND:

- ◻ - BENCHMARK
- ◻ - SURVEY BAR FOUND
- ◻ - SURVEY BAR PLANTED
- - EXISTING GAS VALVE
- - EXISTING STREET SIGN
- - EXISTING BOLLARD
- - EXISTING FIRE HYDRANT
- - EXISTING ANCHOR
- - EXISTING HYDRO POLE
- - EXISTING HYDRO AND BELL
- - HYDRO POLE & EXISTING LIGHT POST
- - PROPOSED WELL
- - EXISTING BELL BOX
- - EXISTING CABLE TV BOX
- - EXISTING STORM MANHOLE
- - EXISTING SANITARY MANHOLE
- - EXISTING TREE
- - BUSHLINE
- - DITCH INLET CATCHBASIN
- - DOUBLE CATCHBASIN
- - CATCHBASIN
- - FLOW DIRECTION
- OH- - OVERHEAD HYDRO LINE
- ⊙ - GPS OBSERVED MONUMENTS
- EX- - EX. UNDERGROUND SANITARY SEWER
- STM- - EX. UNDERGROUND STORM SEWER
- W- - EX. UNDERGROUND WATER MAIN
- B- - EX. UNDERGROUND BELL CABLE
- G- - EX. UNDERGROUND GAS LINE
- SIB - DENOTES STANDARD IRON BAR
- IB - DENOTES IRON BAR
- SSIB - DENOTES SHORT STANDARD IRON BAR
- RIB - DENOTES ROUND IRON BAR
- DIST. - DENOTES DISTURBED
- (P) - DENOTES PLAN OF SURVEY (51R-39389) DATED APRIL 10, 2014. (FILE NO: D-2578).
- (M) - DENOTES MEASURED
- x 228.15 - EXISTING GRADE
- 253.20 - PROPOSED GRADE
- ▲ - PROPOSED ENTRANCE
- - GROUND SURFACE FLOW DIRECTION
- - PROPOSED SWALE FLOW DIRECTION
- - PROPOSED FIRE HYDRANT
- - PROPOSED SANITARY MANHOLE
- - PROPOSED STORM MANHOLE
- - PROPOSED WATER VALVE
- ★ - LS - PROPOSED LIGHT POST



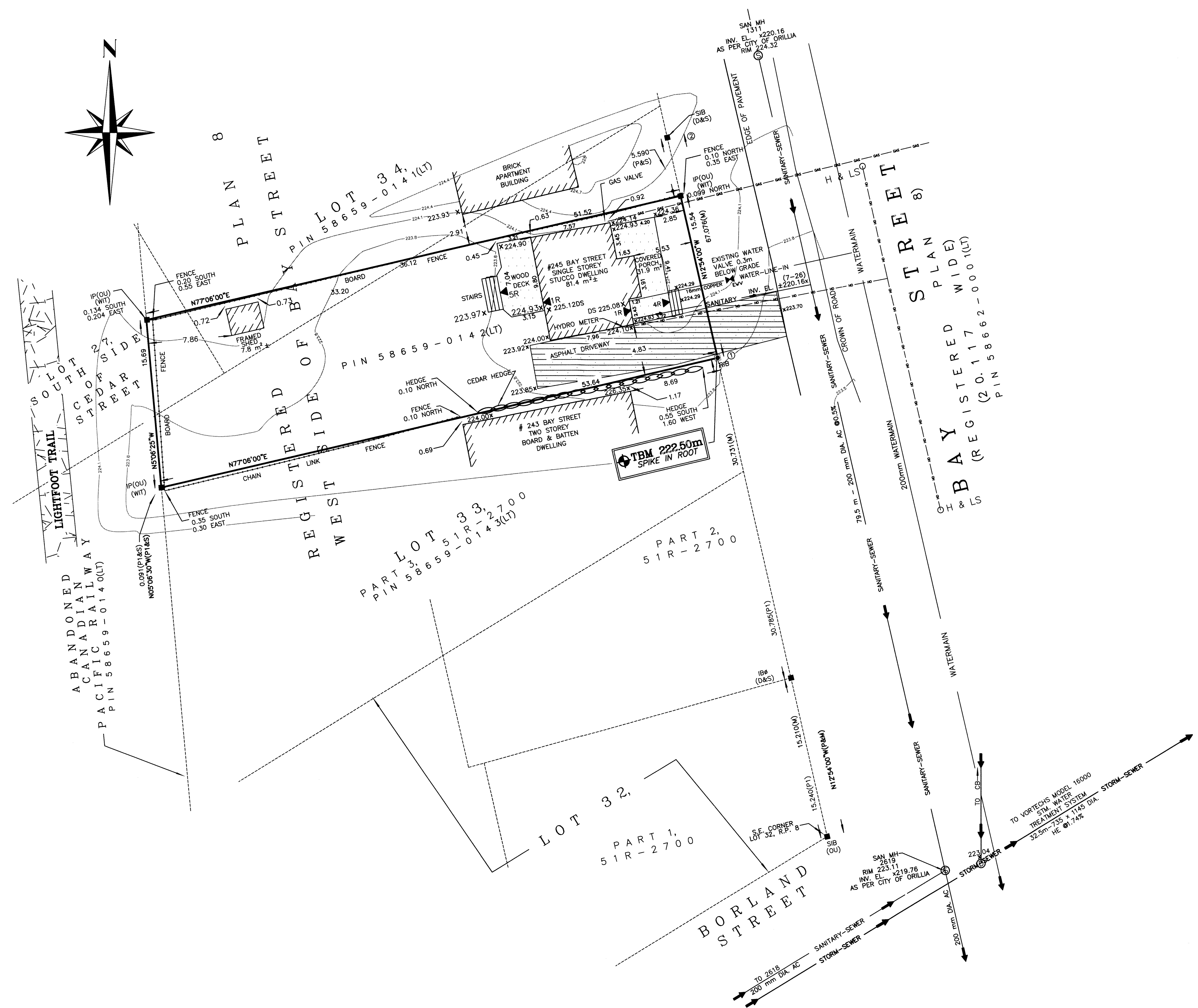
J. J. MARSHALL P. ENG.

TOPOGRAPHIC PLAN
FOR PART OF LOT 27, SOUTH OF CEDAR STREET
AND PART OF LOTS 33 & 34, WEST OF BAY STREET
REGISTERED PLAN 8
(GEOGRAPHIC TOWNSHIP OF SOUTH ORILLIA)
NOW IN THE
CITY OF ORILLIA
COUNTY OF SIMCOE
(PREPARED FOR: MR. HOWARD LEE)

CAD FILE: PST26687
DRAWN BY: P.S. THEIS
CHECKED BY: J.J. MARSHALL P. ENG.
DATE: NOVEMBER 27, 2015.
SCALE: HORIZ. 1: 200

DEARDEN AND STANTON LTD.
ONTARIO LAND SURVEYORS
CANADA LANDS SURVEYORS
CONSULTING ENGINEERS
89 COLLEMER STREET E. 1ST FLOOR
ORILLIA, ONTARIO L3V 5W8
PHONE (705)325-9521 FAX (705)325-0241
www.deardenandstanton.com

DWG. NO. **E-2495**
SHEET **1** OF **1**



NOTE:
FINAL CONFIRMATION OF EXISTING ZONING REQUIREMENTS AND COMPLIANCE OF THIS PROPOSED CONSTRUCTION IS THE RESPONSIBILITY OF THE OWNER AND THE BUILDING CONTRACTOR. THIS IS A PROPOSED CONSTRUCTION PLAN AND DOES NOT REPRESENT A BUILDING LOCATION SURVEY OR LEGAL SURVEY PLAN.