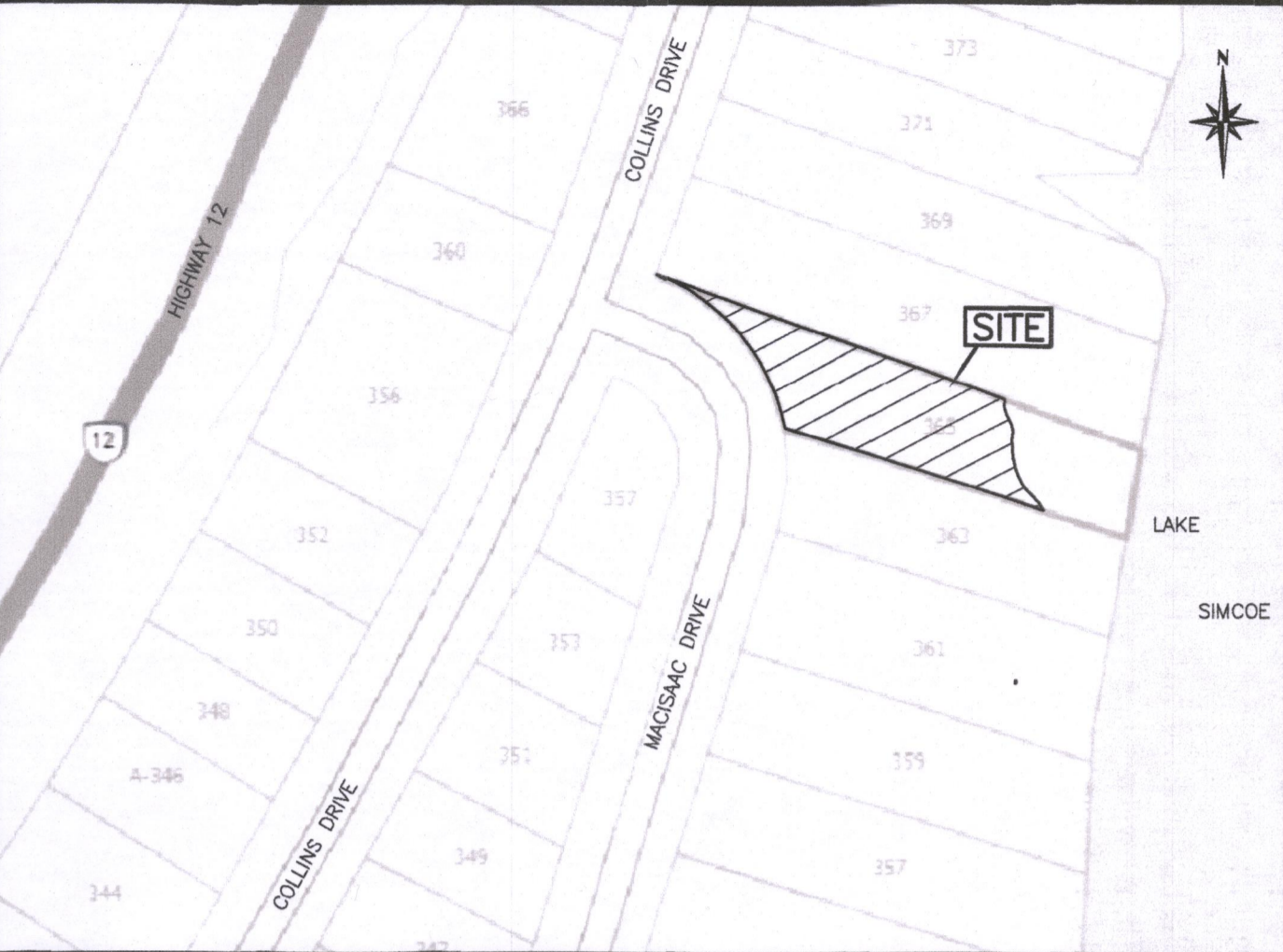


**TIES TO LOCATE WATER'S EDGE**

STATION	BEARING	DISTANCE
A-1	N68°36'10"E	28.67
A-2	N88°13'45"E	26.17
A-3	S58°30'15"E	29.08

**TIES TO LOCATE LIMIT OF REGISTERED PLAN 1339**

STATION	BEARING	DISTANCE
A-4	S66°35'35"E	12.37
A-5	S80°49'25"E	9.75
A-6	N71°49'45"E	6.47
A-7	N39°37'50"E	7.68
A-8	N21°43'45"E	12.47
A-9	N13°38'00"E	14.59



**KEY PLAN**  
(NOT TO SCALE)

**NOTES:**

ALL ELEVATIONS ARE GEODETIC REFERRED TO GNSS OBSERVATIONS USING THE REAL TIME NETWORK (RTN), GNSS VERTICAL DATUM HTV2 (HEIGHT TRANSFORMATION VERSION 2.0).

TBM = TOP OF TURN ARROW ON FIRE HYDRANT #319, LOCATED 4.76m SOUTH EAST FROM THE NORTH WEST CORNER OF LOT 114, REGISTERED PLAN 1339, HAVING AN ELEVATION OF 221.44m.

DISTANCES AND ELEVATIONS SHOWN HEREON ARE METRIC AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS ON MONUMENTS ORP 1 AND ORP 2, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17N, NAD83 (CSRS, CBNV6-2010.0), SHOWN HEREON HAVING A GRID BEARING OF N71°29'20"W.

FOR BEARING COMPARISONS, A COUNTER-CLOCKWISE ROTATION OF 01°09'20" WAS APPLIED TO (P2). A COUNTER-CLOCKWISE ROTATION OF 01°08'30" WAS APPLIED TO (P1) AND (P3).

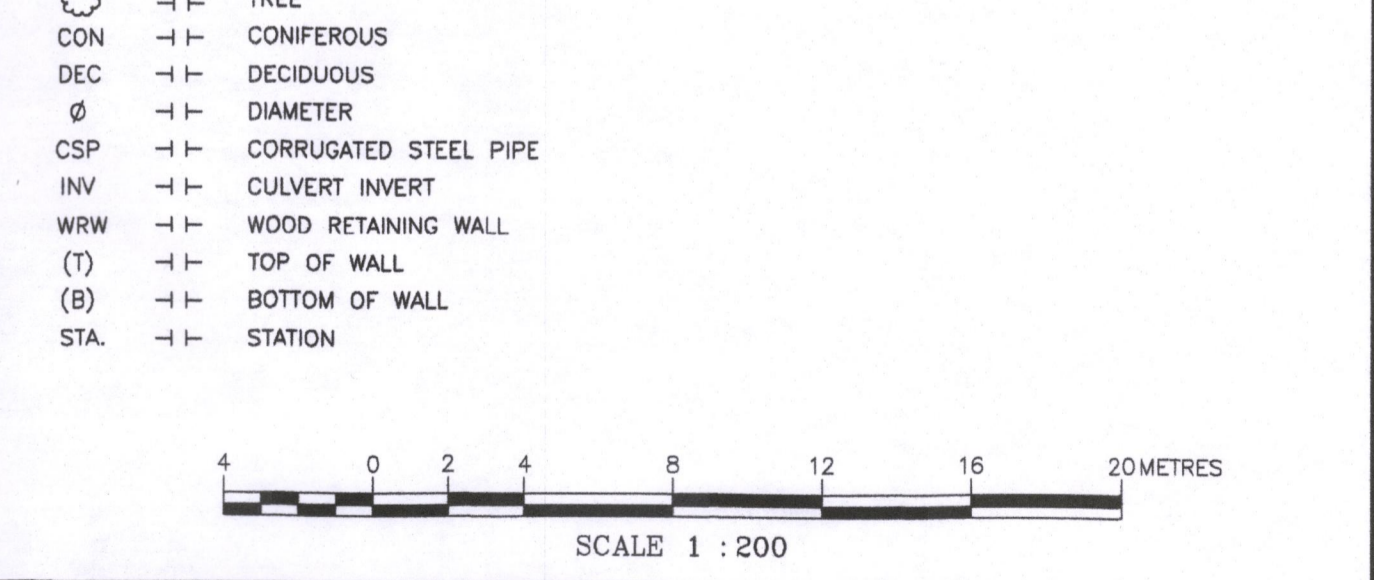
DISTANCES SHOWN ARE IN GROUND AND CAN BE CONVERTED TO GRID BY A COMBINED SCALE FACTOR OF 0.9997723206.

FIELD OBSERVATIONS WERE ACQUIRED DURING WINTER CONDITIONS AND, DUE TO SNOW ACCUMULATION, SOME FEATURES MAY NOT HAVE BEEN MEASURED.

NO.	DD/MM/YY	DESCRIPTION	C.P.R.	BY
1	19/03/26	PLAN OF SURVEY (SHOWING TOPOGRAPHIC DETAIL) RELEASED		

**LEGEND:**

⊕ DENOTES BENCHMARK	▲ DENOTES ENTRANCE
■ SURVEY MONUMENT FOUND	DS DOOR SILL
IB IRON BAR	GF GARAGE FLOOR
IB# ROUND IRON BAR	ST STEP
SIB STANDARD IRON BAR	BW BASEMENT WALKOUT
(WIT) WITNESS	AHWM AVERAGE HIGH WATER MARK
(PROD) PRODUCTION	EXHWM EXISTING GRADE
(M) MEASURED	→ DITCH FLOW DIRECTION
N,S,E,W NORTH, SOUTH, EAST, WEST	(P1) REGISTERED PLAN 895
OP UTILITY POLE	(P2) REGISTERED PLAN 1339
LS LIGHT STANDARD	(P3) SURVEYOR'S REAL PROPERTY REPORT BY DEARDEN AND STANTON LTD., O.L.S. DATED JULY 8, 2010
SB SERVICE BOX	(P4) SURVEYOR'S REAL PROPERTY REPORT BY DEARDEN AND STANTON LTD., O.L.S. DATED JUNE 22, 2006
WS WOOD STAKE	(FN) FIELD NOTES AND RECORDS BY DEARDEN AND STANTON LTD., O.L.S. DATED OCTOBER 18, 2011
OH OVERHEAD WIRES	(C&W) CAVANA & WATSON, O.L.S.
MH MANHOLE	(D&S) DEARDEN & STANTON LTD., O.L.S.
FR FIRE HYDRANT	(695) LEONARD M. MCNEICE, O.L.S.
WV WATER VALVE	(N) NO IDENTIFIER
EA EDGE OF ASPHALT	
BF BOARD FENCE	
MF METAL FENCE	
-X- FENCE	
CP CONCRETE PORCH	
○ TREE	
CON CONIFEROUS	
DEC DECIDUOUS	
∅ DIAMETER	
CSP CORRUGATED STEEL PIPE	
INV CULVERT INVERT	
WRW WOOD RETAINING WALL	
(T) TOP OF WALL	
(B) BOTTOM OF WALL	
STA STATION	



**PLAN OF SURVEY**  
(SHOWING TOPOGRAPHIC DETAIL)  
OF No. 365 MACISAAC DRIVE  
LOT 114, REGISTERED PLAN 1339  
**CITY OF ORILLIA**  
COUNTY OF SIMCOE  
PREPARED FOR: SANDY STEVENS

FILES: KR30314 (LEGAL TOPO) **DEARDEN AND STANTON LTD.** DWG. No. E-4253

ONTARIO LAND SURVEYORS  
CANADA LANDS SURVEYORS  
89 COLDWATER STREET E. L3V 1W8  
ORILLIA, ONTARIO  
PHONE (705) 325-9521 FAX (705) 325-0241  
info@deardenstanton.com www.deardenstanton.com

DRAWN: K. A. RIGLER  
CHECKED: J. DAVIS, O.L.S.

**SHEET 1 of 1**

**TREE INDEX**

TREE #	DESCRIPTION
TR1	0.70# DEC
TR2	0.20# CON
TR3	0.50# DEC
TR4	0.05# CON
TR5	0.05# CON
TR6	0.05# CON
TR7	0.40# CON
TR8	0.05# CON
TR9	0.05# SHRUB
TR10	0.05# DEC

(TREE TRUNK MEASURED AT BREAST HEIGHT)

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.  
2) THE SURVEY WAS COMPLETED ON MARCH 10, 2026.

C. P. RAIKES  
ONTARIO LAND SURVEYOR  
CANADA LANDS SURVEYOR

ORILLIA, ONTARIO  
MARCH 19, 2026

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-124839

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LOT AREA: 877.4m<sup>2</sup>±  
EXISTING ZONING: R1 - RESIDENTIAL ONE

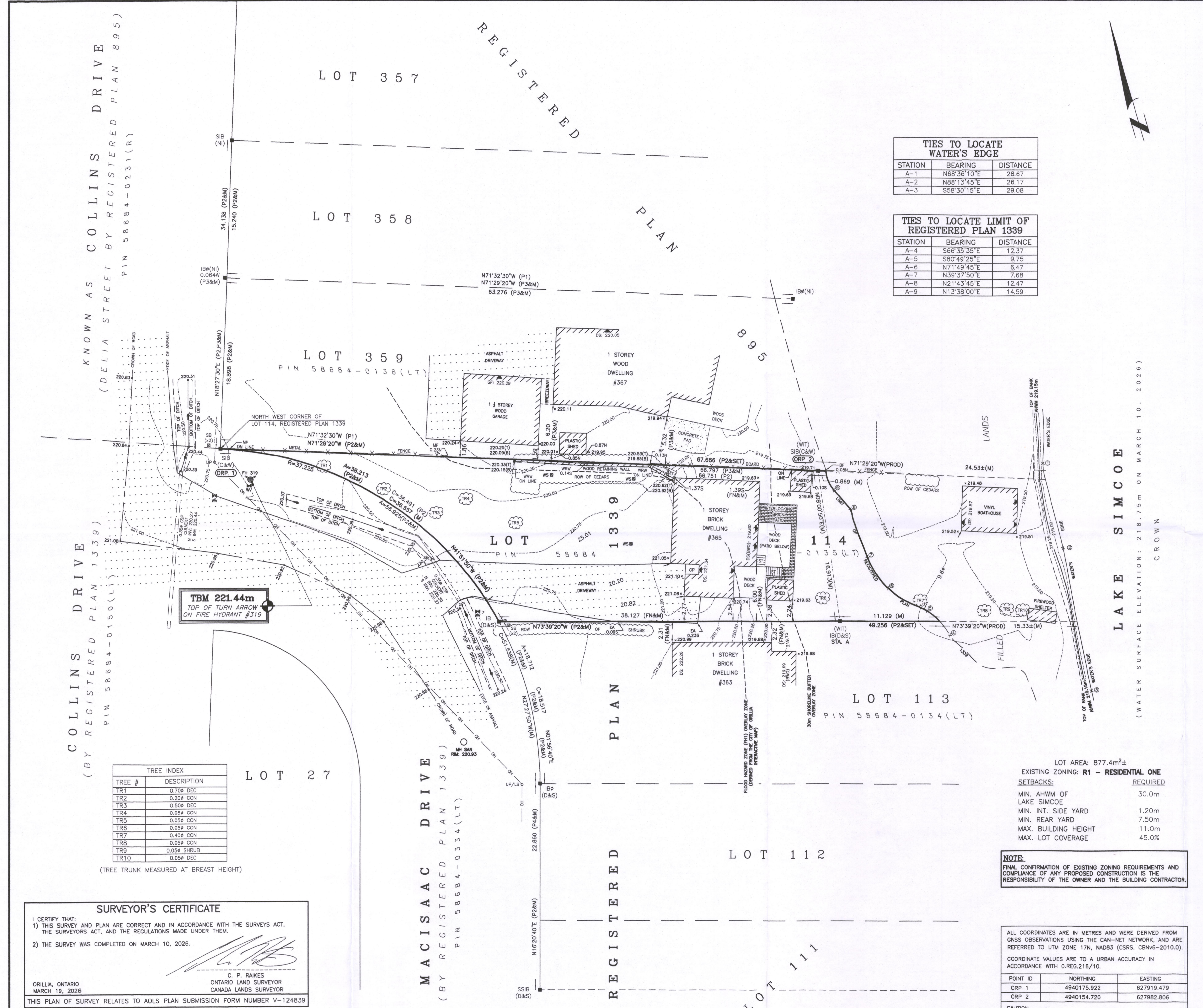
SETBACKS:	REQUIRED
MIN. AHWM OF LAKE SIMCOE	30.0m
MIN. INT. SIDE YARD	1.20m
MIN. REAR YARD	7.50m
MAX. BUILDING HEIGHT	11.0m
MAX. LOT COVERAGE	45.0%

**NOTE:**  
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POINT ID	NORTHING	EASTING
ORP 1	4940175.922	627919.479
ORP 2	4940154.720	627982.806

**CAUTION**  
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THE PLAN.

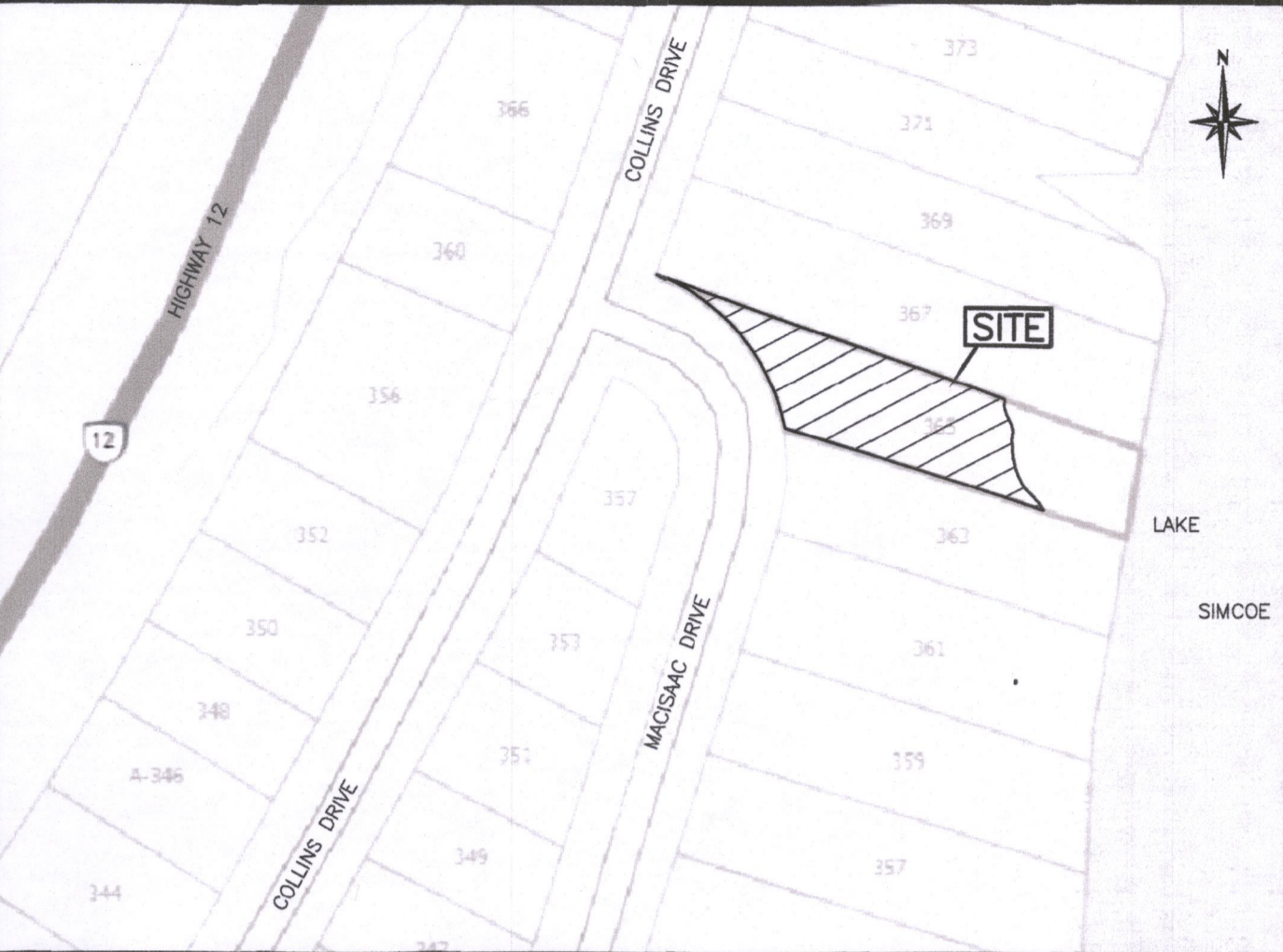


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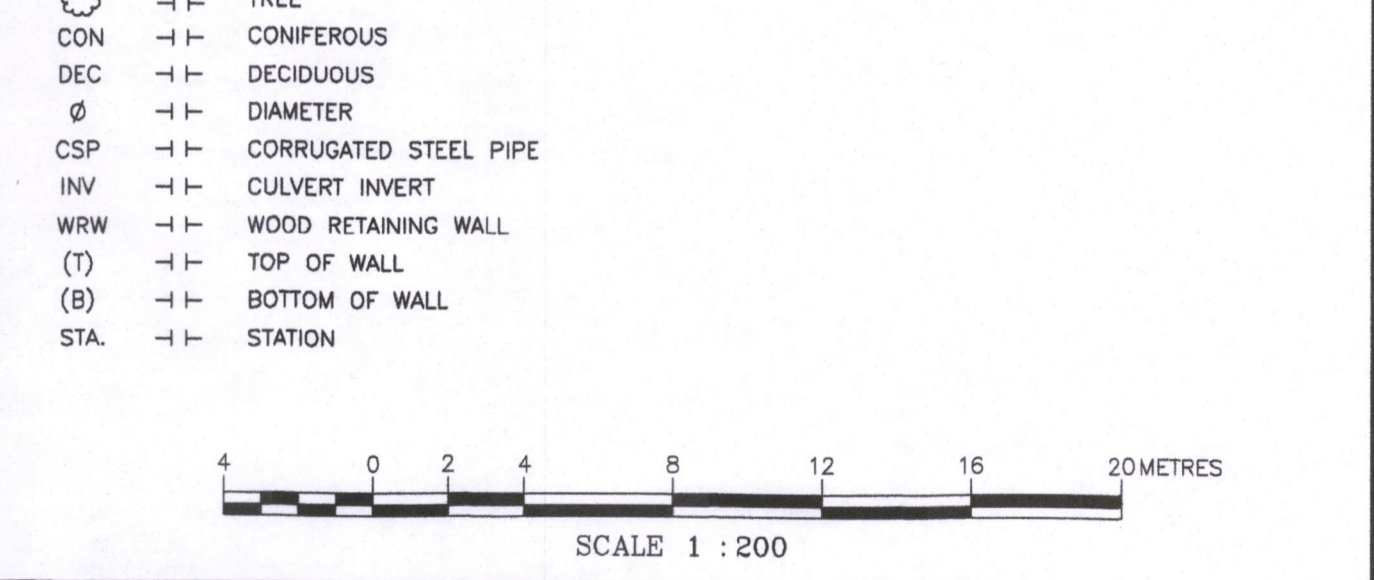
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NO.	DD/MM/YY	DESCRIPTION	C.P.R.	BY
1	19/03/26	PLAN OF SURVEY (SHOWING TOPOGRAPHIC DETAIL) RELEASED		

**LEGEND:**

<ul style="list-style-type: none"> <li>⊕ DENOTES BENCHMARK</li> <li>■ SURVEY MONUMENT FOUND</li> <li>IB IRON BAR</li> <li>IB# ROUND IRON BAR</li> <li>SIB STANDARD IRON BAR</li> <li>(WIT) WITNESS</li> <li>(PROD) PRODUCTION</li> <li>(M) MEASURED</li> <li>N,S,E,W NORTH, SOUTH, EAST, WEST</li> <li>OP UTILITY POLE</li> <li>LS LIGHT STANDARD</li> <li>SB SERVICE BOX</li> <li>WS WOOD STAKE</li> <li>OH OVERHEAD WIRES</li> <li>MH MANHOLE</li> <li>FR FIRE HYDRANT</li> <li>WV WATER VALVE</li> <li>EA EDGE OF ASPHALT</li> <li>BF BOARD FENCE</li> <li>D&amp;S METAL FENCE</li> <li>(695) FENCE</li> <li>CP CONCRETE PORCH</li> <li>TR TREE</li> <li>CON CONIFEROUS</li> <li>DEC DECIDUOUS</li> <li>DI DIAMETER</li> <li>CSP CORRUGATED STEEL PIPE</li> <li>INV CULVERT INVERT</li> <li>WRW WOOD RETAINING WALL</li> <li>(T) TOP OF WALL</li> <li>(B) BOTTOM OF WALL</li> <li>STA STATION</li> </ul>	<ul style="list-style-type: none"> <li>▲ DENOTES ENTRANCE</li> <li>DS DOOR SILL</li> <li>GF GARAGE FLOOR</li> <li>ST STEP</li> <li>BW BASEMENT WALKOUT</li> <li>AHWM AVERAGE HIGH WATER MARK</li> <li>EXM EXISTING GRADE</li> <li>DF DITCH FLOW DIRECTION</li> <li>(P1) REGISTERED PLAN 895</li> <li>(P2) REGISTERED PLAN 1339</li> <li>(P3) SURVEYOR'S REAL PROPERTY REPORT BY DEARDEN AND STANTON LTD., O.L.S. DATED JULY 8, 2010</li> <li>(P4) SURVEYOR'S REAL PROPERTY REPORT BY DEARDEN AND STANTON LTD., O.L.S. DATED JUNE 22, 2006</li> <li>(FN) FIELD NOTES AND RECORDS BY DEARDEN AND STANTON LTD., O.L.S. DATED OCTOBER 18, 2011</li> <li>(C&amp;W) CAVANA &amp; WATSON, O.L.S.</li> <li>(D&amp;S) DEARDEN &amp; STANTON LTD., O.L.S.</li> <li>(695) LEONARD M. MCNEICE, O.L.S.</li> <li>(N) NO IDENTIFIER</li> </ul>
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(TREE TRUNK MEASURED AT BREAST HEIGHT)

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EXISTING ZONING: R1 - RESIDENTIAL ONE  
SETBACKS: REQUIRED

MIN. AHWM OF LAKE SIMCOE	30.0m
MIN. INT. SIDE YARD	1.20m
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CANADA LANDS SURVEYOR

ORILLIA, ONTARIO  
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**ASSOCIATION OF ONTARIO LAND SURVEYORS**  
2089

**PLAN OF SURVEY**  
(SHOWING TOPOGRAPHIC DETAIL)  
OF No. 365 MACISAAC DRIVE  
LOT 114, REGISTERED PLAN 1339  
**CITY OF ORILLIA**  
**COUNTY OF SIMCOE**  
PREPARED FOR: SANDY STEVENS

FILES: KR30314 (LEGAL TOPO) **DEARDEN AND STANTON LTD.** DWG. No. E-4253

DRAWN: K. A. RIGLER  
CHECKED: J. DAVIS, O.L.S.

ONTARIO LAND SURVEYORS  
CANADA LANDS SURVEYORS  
89 COLDWATER STREET E. L3V 1W8  
PHONE (705)325-9521 FAX (705)325-0241  
info@deardenandstanton.com www.deardenandstanton.com

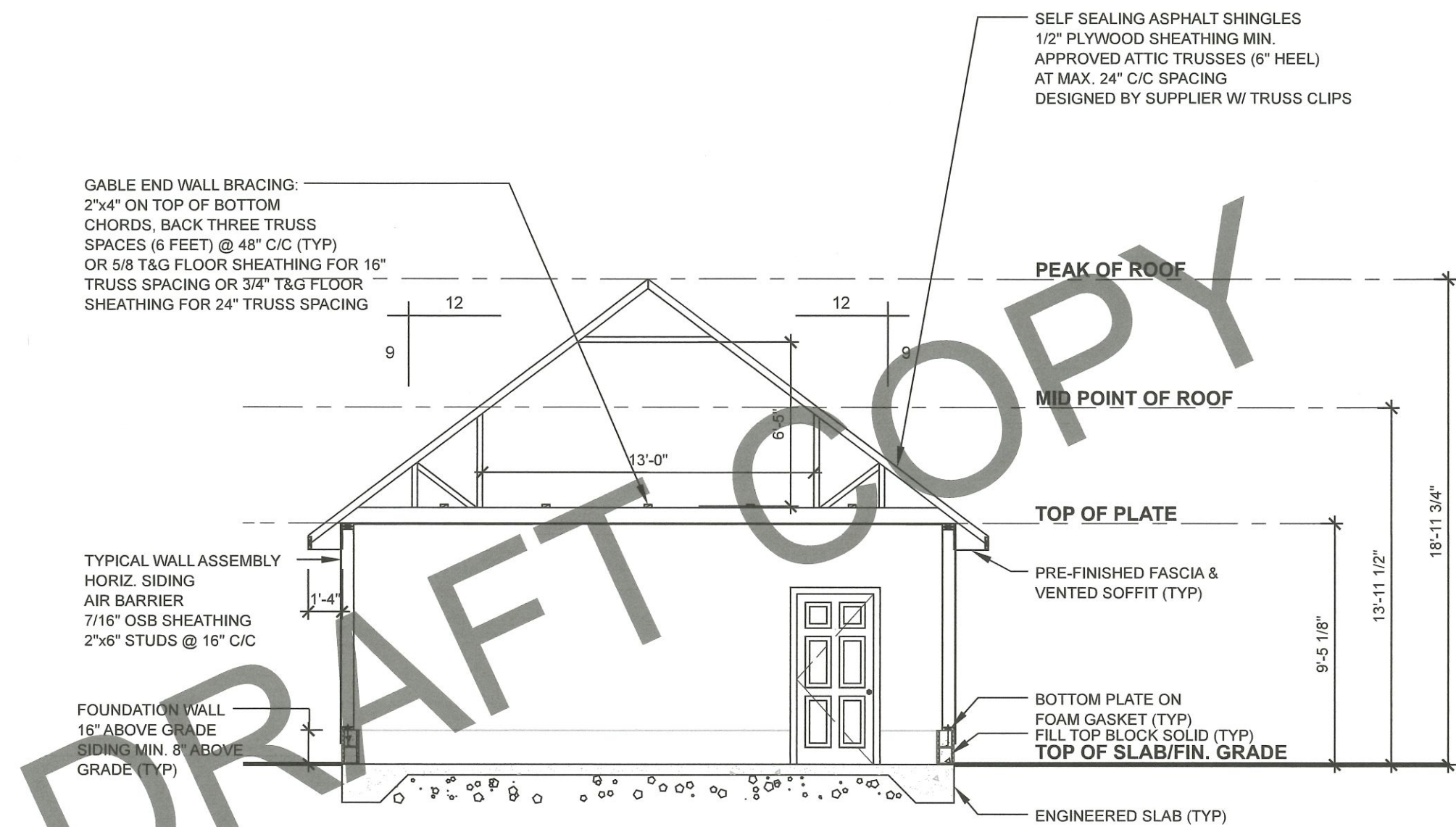
**ORILLIA - ONTARIO**

SHEET 1 of 1

GENERAL NOTE: These drawings are not to be scaled. All dimensions must be verified by contractor prior to commencement of any work. Any discrepancies must be reported directly to the designer.



1766-7 - Orillia Home Hardware Building Centre  
(705) 326 7371



GABLE END WALL BRACING:  
2"x4" ON TOP OF BOTTOM  
CHORDS, BACK THREE TRUSS  
SPACES (6 FEET) @ 48" C/C (TYP)  
OR 5/8 T&G FLOOR SHEATHING FOR 16"  
TRUSS SPACING OR 3/4" T&G FLOOR  
SHEATHING FOR 24" TRUSS SPACING

SELF SEALING ASPHALT SHINGLES  
1/2" PLYWOOD SHEATHING MIN.  
APPROVED ATTIC TRUSSES (6" HEEL)  
AT MAX. 24" C/C SPACING  
DESIGNED BY SUPPLIER W/ TRUSS CLIPS

TYPICAL WALL ASSEMBLY  
HORIZ. SIDING  
AIR BARRIER  
7/16" OSB SHEATHING  
2"x6" STUDS @ 16" C/C

FOUNDATION WALL  
16" ABOVE GRADE  
SIDING MIN. 8" ABOVE  
GRADE (TYP)

TOP OF PLATE

PRE-FINISHED FASCIA &  
VENTED SOFFIT (TYP)

BOTTOM PLATE ON  
FOAM GASKET (TYP)  
FILL TOP BLOCK SOLID (TYP)  
**TOP OF SLAB/FIN. GRADE**

ENGINEERED SLAB (TYP)

IBD remains in possession of the original drawing as purchased. It is a criminal offence to electronically alter our pertinent design information in any way. If you require an unlocked PDF, open the PDF in Adobe Reader or a PDF writer and print a PDF. This flattens all of our information so it cannot be changed and removes the security password.

RECENT CHANGES IN THE NEW BUILDING CODE ADDRESSING LATERAL LOADS DUE TO WIND AND EARTH QUAKE HAVE BEEN CONSIDERED IN THE WALL DESIGN FOR THE SUBJECT BUILDING.

Sandy Stevens  
365 Mcisaac Dr  
Orillia, Ontario

Issue Date: May. 06, 2026

Scale: 3/16" = 1'-0"

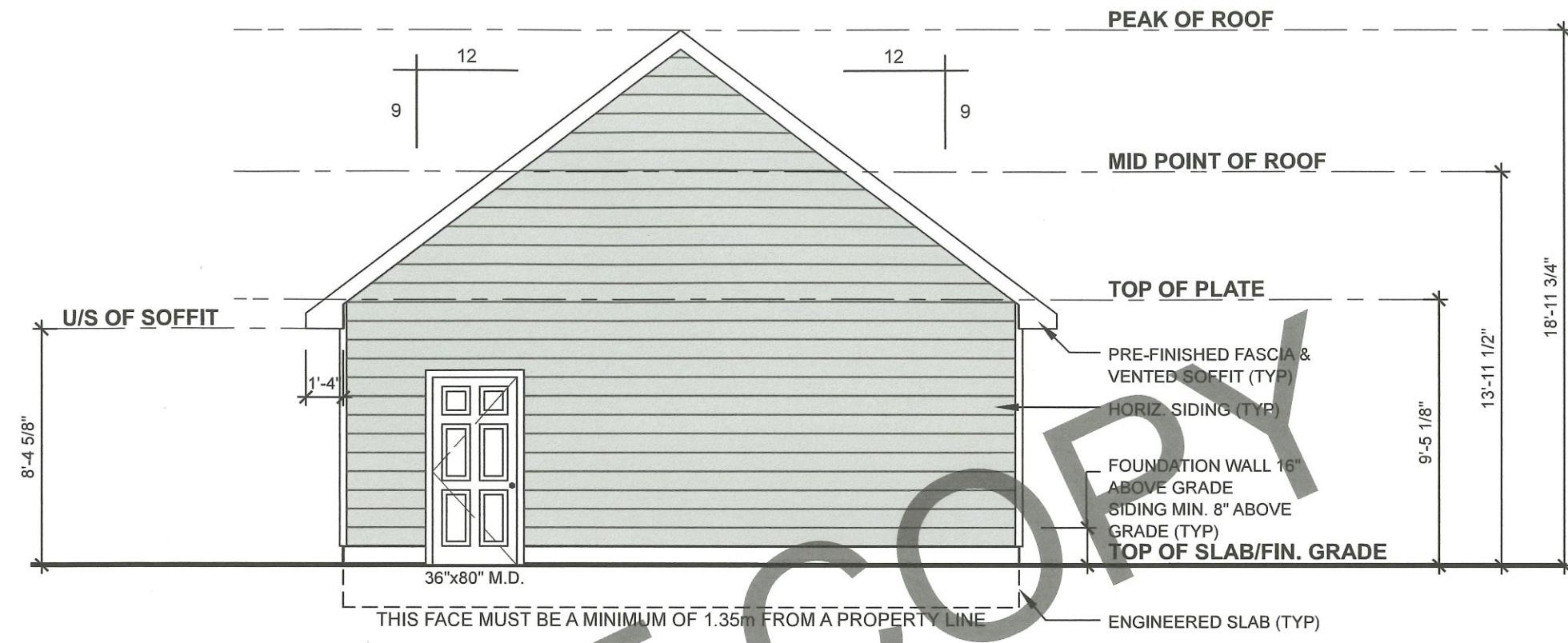
BUILDING SECTION

Report No: GPS-26-83491	Drawing No: A-9
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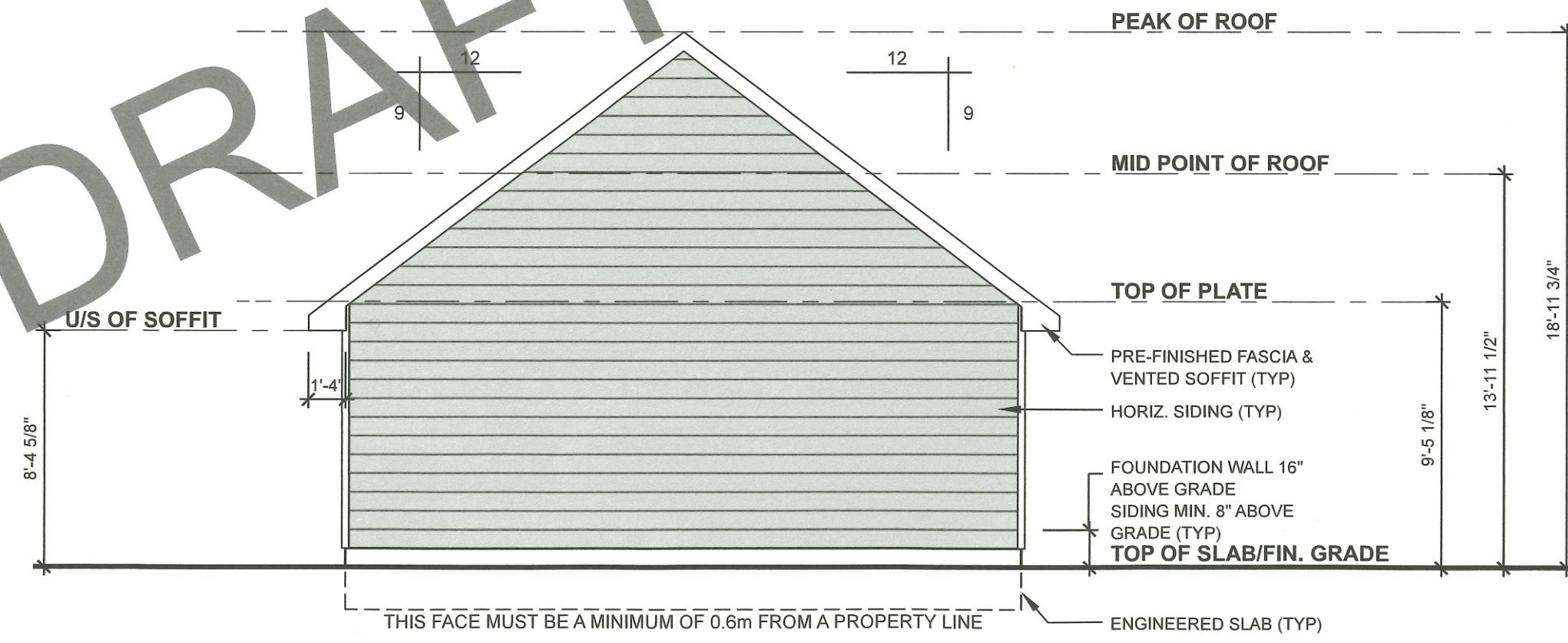


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THIS FACE MUST BE A MINIMUM OF 1.35m FROM A PROPERTY LINE

**FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"



THIS FACE MUST BE A MINIMUM OF 0.6m FROM A PROPERTY LINE

**REAR ELEVATION**  
SCALE: 3/16" = 1'-0"

DRAFT COPY

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FRONT & REAR ELEVATIONS

Report No: GPS-26-83491	Drawing No: A-6
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