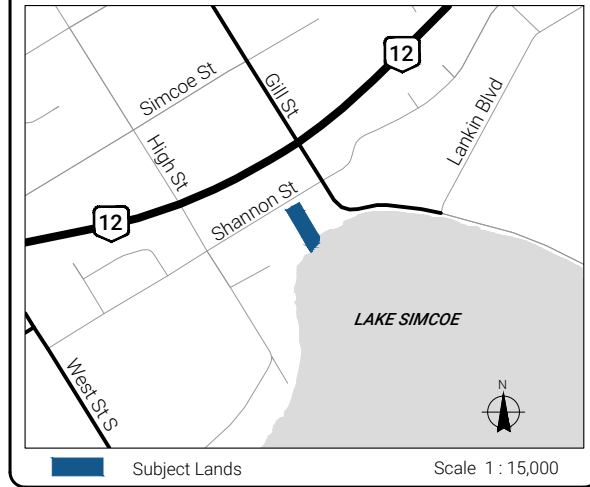




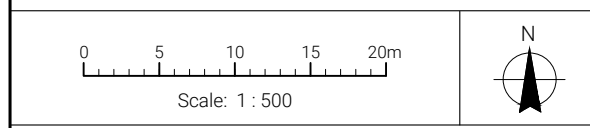
Zone Matrix ZBL 2014-44		
	Required Residential One (R1)	Proposed
Lot Area (min)	0.055ha	±0.275ha
Lot Frontage (min)	15.0m	±30.5m
Lot Coverage (max)	45%	±15.6%
Front Yard (min)	30.0m (shoreline)	±37.1m
Interior Side Yard (min)	1.2m	±3.0m
Rear Yard (min)	6.0m	±23.5m
Building Height (max)	11.0m	<11.0m
Landscaped Open Space (min)	30%	±74.3%
Deck Setback from Shoreline (min)	5.0m	±33.7m
Accessory Structures		
Front Yard (min)	30.0m (shoreline)	±13.0m
Side Yard (min)	1.2m	±1.2m
Rear Yard (min)	6.5m	±58.1m
Floor Area (max)	68m ²	±27.8m ²
Building Height (max)	5.0m	<5.0m
No. of Buildings (max)	3	1
Shoreline Buffer Zone Coverage (max)	25%	±4.0%

CONCEPT PLAN

135 SHANNON STREET
 Part of Lot 12, Concession 5 Southern Division
 City of Orillia, County of Simcoe



LEGEND	
	Subject Lands Lot Area: ±0.275ha (0.68ac) Lot Frontage: ±30.5m
	Proposed Accessory Structure Footprint Area: ±27.8m ² (299.4ft ²) Dimensions: 7.6m x 3.7m Storeys: 1
	30m Shoreline Setback
	2m Contours



Note: This drawing is for discussion purposes only. Boundary to be verified by an O.L.S.

Source: Survey, Paul R. Kitchen, July 12, 1979. County of Simcoe interactive map.

Drawn By: A.M. Date: May 11, 2026 File No: 1645

MORGAN
 PLANNING & DEVELOPMENT
 Phone: (705) 327-1873 Website: morganplanning.ca
 101-21 Matchedash Street South, Orillia, ON, L3V 4W4



Minor Variance Application *Planning Justification Report*

To:	City of Orillia
Attention:	Jeff Duggan, MCIP, RPP <i>Senior Planner</i>
From:	Lauren Arsenault, BA CPT & Joshua Morgan, RPP, MCIP
Date:	May 13 th , 2026, Revised May 25th, 2026
Delivered:	Delivered by Email
Subject Property:	135 Shannon Street City of Orillia

1.0 INTRODUCTION

MORGAN Planning & Development Inc. ('MP&D') has been retained by the property owner of 135 Shannon Street in the City of Orillia to assist in obtaining a Minor Variance approval related to the construction of a shoreline accessory structure located within the 'Shoreline Buffer Area' and the required front yard of the subject property. The Minor Variance application seeks relief from the maximum gross floor area and interior side yard setback zoning provisions for accessory shoreline structures within the City of Orillia Zoning By-law 2014-44.

This report provides an overview of the existing conditions of the property, the proposed development, summarizes the purpose of the Minor Variance application and how the four tests under Section 45(1) of *The Planning Act* have been met.

2.0 LOCATION AND DESCRIPTION OF LAND

The property is known municipally as 135 Shannon Street within the City of Orillia. The property is located within the southeast portion of the city with frontage on Lake Simcoe and lies within the Treaty 16 (1815) lands.

The property has an area of approximately in 2,896 metres squared with approximately 30 metres of frontage on Shannon Street and having approximately 34 metres of shoreline on Lake Simcoe.

The property is developed with a one storey single detached dwelling, with attached garage and deck, a U-shaped driveway with two entrances on Shannon Street, a small shed and a floating dock.

The owner began constructing an accessory structure to be utilized as a covered seating space and for storage of items related to waterfront recreational uses such as kayaks and patio furniture in the off-season. A building permit has not been issued for the structure which is the subject of this application.

The undeveloped portion of the property is grassed with a few mature trees in the front yard and flanking the interior side yards. The property has a gradual slope to the shoreline which is rocky and naturally vegetated.

The subject property is municipally serviced with water and sanitary services.

Figure 1 on the following page provides the location of the subject property, with **Figure 2** providing aerial imagery of the lands as of 2025 (County of Simcoe Interactive Mapping).

Figure 1 Location of Subject Property

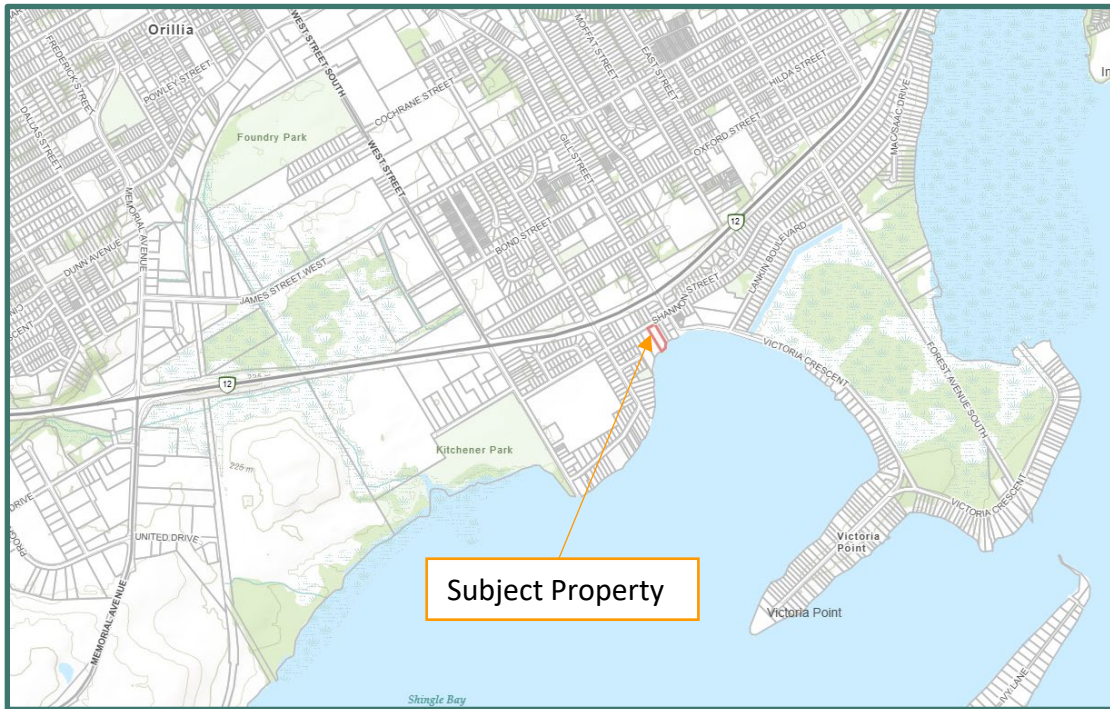


Figure 2 Aerial Imagery of Subject Lands and Adjacent Uses



The surrounding uses are categorized as follows, and illustrated on **Figure 3** below:

North: *The property is bound to the north by Shannon Street. Lands located north of Shannon Street are developed with low-density residential uses.*

East: *The property abuts a narrow residential waterfront lot to the east. Further east are smaller waterfront lots with substantial development within the respective Shoreline Buffer Areas.*

South: *The southern boundary of the property is defined by the shoreline of Lake Simcoe.*

West: *The property abuts a residential waterfront lot of similar size to the west.*

Figure 3 Surrounding Land Uses



3.0 OVERVIEW OF PROPOSAL AND PLANNING INSTRUMENTS

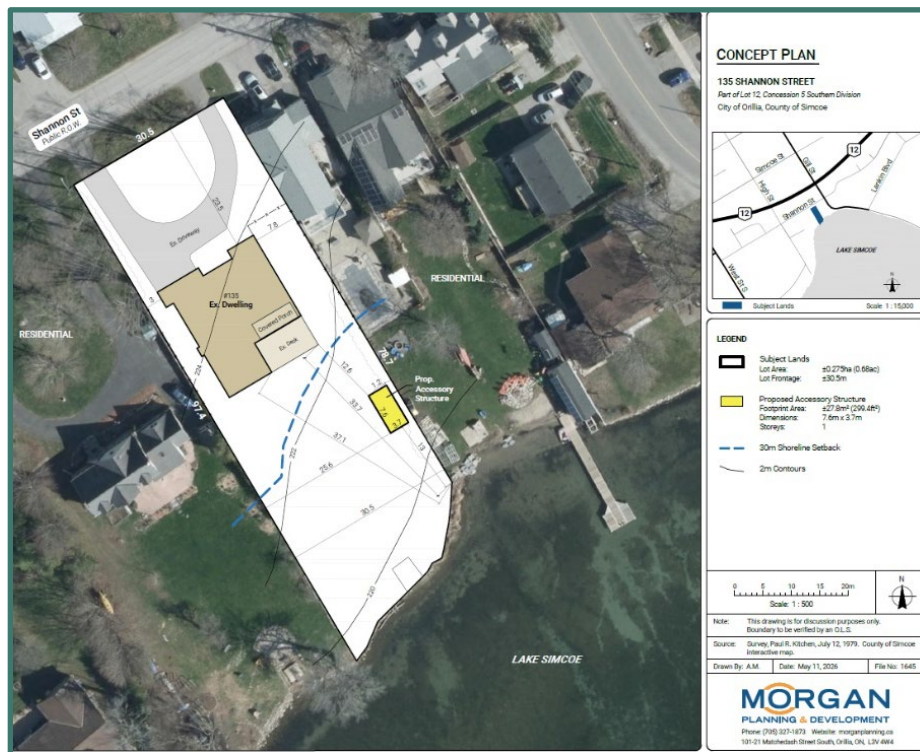
3.1 Overview of Proposal

The Minor Variance application seeks to facilitate the development of an accessory shoreline structure within the required front yard and 'Shoreline Buffer Area' Zone of the subject property. The structure is intended to be used as covered outdoor seating space and for storage of patio furniture in the off-season and waterfront recreational items (kayak, paddles, lifejackets etc.). The structure is sited approximately 13.0 m from the shoreline and will provide additional outdoor amenity area with views of the lake.

As the partially constructed structure does not meet the definition for a "Gazebo" nor a "Boathouse" it would be considered "Other Shoreline Structure" under section 5.1.4.8 of the City's Zoning By-law. The Minor Variance application seeks relief from the maximum required Gross Floor Area (G.F.A.) and Side Lot Line setback for Other Shoreline Structures. The structure complies with all other Zoning by-law provisions pertaining to accessory structures including height, lot coverage and other applicable setbacks.

Figure 4 below provides an excerpt from the Site Plan Drawing illustrating the proposed accessory structure location and dimensions. A full copy of the Site Plan has been included in the submission package.

Figure 4 Excerpt from Site Plan Drawing



3.2 Planning Instruments

3.2.1 Minor Variance Application

In order to facilitate the proposed development, the application submitted herein proposes the following minor variance(s):

1. *Notwithstanding Section 5.1.4.8, an Accessory Shoreline Structure having a G.F.A. of 27.8 m² shall be permitted.*
2. *Notwithstanding Section 5.1.4.8 b) an Accessory Shoreline Structure located 1.2m from Side Lot Line shall be permitted.*

A zoning compliance matrix is provided in the following table, with the zoning provisions that require relief highlighted:

Table 1 Zoning Matrix
Zone Matrix – 135 Shannon Street

ZBL Provisions <i>'Residential One (R1)' Zone</i>	Required/ Permitted	Proposed
Lot Area (Min)	550.0 m ²	±2,896 m ²
Lot Frontage (Min)	15.0 m	±30.5 m
Front Yard (Min)	30.0 m	±37.1 m
Exterior Side Yard (Min)	4.5 m	N/A
Interior Side Yard (Min)	1.2 m	±3.0 m
Rear Yard (Min)	7.5 m	±23.5 m
Lot Coverage (Max)	45 %	±15.6 %
Building Height (Max)	11.0m	<11.0 m
Landscaped Open Space (min)	30%	±74.3%
Shoreline Structures - Other Shoreline Structures		
Area (Max)	15.0 m ²	28.0 m²
Shoreline Setback (Min)	4.0 m	13.0 m
Side Yard Setback (Min)	2.0 m	1.2 m
Height (Max)	5.0 m	<5.0 m
Shoreline Buffer Overlay Zone (30.0 m from shoreline)		
Lot Coverage (Max)	25%	±4.0%

4.0 APPLICABLE PLANNING DOCUMENTS – OVERVIEW

The subject property is identified in the applicable planning policy documents as follows:

Policy Document	Designation/ Zone
Provincial Planning Statement	<i>Settlement Area</i>
City of Orillia Official Plan	<i>Stable Neighbourhood</i>
City of Orillia Zoning By-law	<i>Residential One (R1)</i>

The following subsections provide a detailed analysis of the above noted designations and zones as they pertain to the proposed application.

4.1 *The Planning Act* R.S.O. 1990

The following table (following page) provides an overview of how the proposed development has regard for the Provincial Interest as outlined in Section 2 of the *Planning Act*:

Section 2 of the <i>Planning Act</i> (Provincial Interest)	
<i>The Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,</i>	
	Morgan Planning Comment:
<i>(a) the protection of ecological systems, including natural areas, features and functions;</i>	The accessory structure is setback over 13m from the water's edge and will not disrupt the natural shoreline area.
<i>(b) the protection of the agricultural resources of the Province;</i>	The subject property is located within the City of Orillia. Therefore, not applicable.
<i>(c) the conservation and management of natural resources and the mineral resource base;</i>	Not applicable.
<i>(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;</i>	There are no features of significant architectural, cultural, historical, archaeological, or scientific interest on or adjacent to the property. Therefore, not applicable.
<i>(e) the supply, efficient use and conservation of energy and water;</i>	The dwelling will continue to be serviced via municipal water services.
<i>(f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;</i>	Not Applicable.
<i>(g) the minimization of waste;</i>	Not Applicable.

<i>(h.1) the accessibility for persons with disabilities to all facilities, services and matters to which this Act applies;</i>	Not Applicable.
<i>(a) the adequate provision and distribution of educational, health, social, cultural and recreational facilities;</i>	Not Applicable.
<i>(j) the adequate provision of a full range of housing, including affordable housing;</i>	Not Applicable.
<i>(k) the adequate provision of employment opportunities;</i>	Not Applicable.
<i>(l) the protection of financial and economic well-being of the Province and its municipalities;</i>	Not Applicable.
<i>(m) the co-ordination of planning activities of public bodies;</i>	Not Applicable.
<i>(n) the resolution of planning conflicts involving public and private interests;</i>	Not Applicable.
<i>(o) the protection of public health and safety;</i>	The accessory structure is located outside of the flood prone area and well setback from the shoreline, ensuring the structure remains protected during flooding events. The structure will be subject to obtaining a building permit.
<i>(p) the appropriate location of growth and development;</i>	The subject property is located within a 'Settlement Area' where residential development is permitted.
<i>(q) the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;</i>	Not Applicable.
<i>(r) the promotion of built form that, (i) is well-designed, (ii) encourages a sense of place, and (iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;</i>	Not Applicable.
<i>(s) the mitigation of greenhouse gas emissions and adaptation to a changing climate</i>	Not Applicable.

It is the professional opinion of the undersigned that the enclosed application, and resulting development, has regard for the applicable provincial interests outlined within the *Planning Act*.

4.2 Provincial Planning Statement (2024)

The Provincial Planning Statement (PPS, 2024) provides policy direction on matters related to land use planning and sets the policy foundation for regulating the development and use of all land in the province. The subject property is located within the City of Orillia, placing it under the **'Settlement Area'** designation in accordance with the PPS.

The proposed development will not offend any Natural Heritage policies of the PPS as noted in Section 4.1 nor any policies related to the Water Resources as outlined in section 4.2.

The Natural Hazards policies of the PPS, Section 5.2.2, note that *development shall generally be directed to areas outside of hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards*. The proposed accessory structure will be located outside of the flood hazard lands as identified in the City's Zoning By-law.

It is the professional opinion of the undersigned that the application, and resulting development, is consistent with the policy direction provided by the Provincial Planning Statement.

4.3 City of Orillia Official Plan

The subject property is designated **'Living Area - Stable Neighbourhood'** within the City of Orillia Official Plan ('OP') – Schedule 'A' – Land Use. The **'Stable Neighbourhood'** designation is consistent with the land use designation applied to most of the low-density residential areas within the City of Orillia. It is an objective of the **'Living Area'** designation *"to ensure that new development is compatible with the character of the adjacent buildings (Section 3.3.1 e)."*

The subject property is also identified as being located within the *Lake Simcoe Watershed* boundary as shown on Schedule 'F' – *Source Water Protection*, however, the property is not regulated by the Lake Simcoe Regional Conservation Authority.

An analysis of how the proposed development meets the general intent of the OP is provided within Section 5.0 of this report.

4.4 City of Orillia Zoning By-law (2014-44)

The subject property is zoned **'Residential One (R1)' and Flood Hazard One (FH1)** within the City of Orillia Zoning By-law. A portion of the property is also zoned within the **'Shoreline Buffer Overlay'**. Section 15.1.2 of the Zoning By-law which governs development within the Shoreline Buffer permits the use of shoreline structures within this overlay zone.

The proposed accessory structure will comply with the minimum opening elevation of 220.5 m C.G.S. as outlined in section 15.4 of the City's Zoning By-law ensuring it is protected from significant flooding events.

A zoning matrix detailing how the proposed accessory structure complies with applicable zoning provisions and where relief is required has been outlined in section 3.2.1. of this report.

A detailed analysis of the proposed variances and their regard for the Zoning By-law is provided within Section 5.0 of this report.

5.0 FOUR TESTS OF A MINOR VARIANCE

In formulating the planning rationale for any Minor Variance application, the applicant and the approval authority must consider the following 4 tests as per Section 45(1) of the *Planning Act*:

1. *Is the variance minor when considering the impact on adjacent properties and/or uses?*
2. *Is the variance desirable for the appropriate development of the land?*
3. *Is the general intent and purpose of the zoning by-law maintained?*
4. *Is the general intent and purpose of the official plan maintained?*

The following table provides a detailed planning analysis which addresses each of the proposed variances (*following page*).

Proposed Variance	<i>Is the variance minor in nature?</i>	<i>Is the variance desirable for the development or use of the land?</i>
Planning Justification		
<p>Section 5.1.4.8 Other Shoreline Structures <i>Maximum G.F.A</i></p>	<p>The Minor Variance application seeks to allow for a building permit to be obtained for a partially constructed accessory shoreline structure on the subject property. The accessory structure will be used for storage and as a covered outdoor seating space.</p> <p>The area of the proposed accessory structure is 28.0 m² whereas the maximum G.F.A for ‘<i>other shoreline structures</i>’ is 15.0 m². A variance of 12.8 m² is required. The structure combines multiple uses; section 15.1.2 of the City’s Zoning By-law allows for the use of shoreline structures such as gazebos and boathouses, within the ‘Shoreline Buffer Area’, in accordance with subsection 5.1.4.</p> <p>The variance can be considered minor in nature as the proposed accessory structure consolidates two permitted shoreline uses into a single building, maintains an appropriate height, and is not expected to result in adverse impacts to the natural functions of the shoreline.</p>	<p>The variance is desirable for the appropriate development and use of the land as it facilitates a functional accessory shoreline structure that improves the usability of the property’s waterfront amenity area.</p> <p>The application allows two permitted shoreline uses to be consolidated into a single building, resulting in a more efficient and orderly waterfront layout. The combining of these uses into one structure provides for a less crowded waterfront area, benefiting views from neighbouring properties and the water (‘view from the canoe’).</p> <p>The structure’s built form is narrow, having a limited width (3.6 m) facing the shoreline, which also helps preserve views of the waterfront for adjacent properties.</p> <p>For these reasons, it is the opinion of the undersigned that the variance is desirable for the development and use of the land.</p>

Proposed Variance	<i>Is the general intent and purpose of the Zoning By-law maintained?</i>	<i>Is the general intent and purpose of the Official Plan maintained?</i>
Planning Justification		
<p>Section 5.1.4.8 Other Shoreline Structures <i>Maximum G.F.A</i></p>	<p>The intent of the provisions for “<i>Other Shoreline Structures</i>” in the City’s Zoning By-law, including the maximum G.F.A. requirement is to ensure the shoreline area does not become overburdened by the built form and to protect and preserve the natural functions of the shoreline.</p> <p>While the partially constructed structure exceeds the maximum permitted G.F.A., for <i>Other Accessory Structures</i>, it is still much smaller in area than the maximum permitted development envelope for a boathouse (8.0 m by 10.0 m or 80m²).</p> <p>The structure consolidates two permitted shoreline uses into a single building, reducing the need for multiple accessory structures within the <i>Shoreline Buffer Area</i>, limiting built form and maintaining the majority of the area in a natural state.</p> <p>For these reasons, it is the opinion of the undersigned that the variance maintains the general intent and purpose of the Zoning By-law.</p>	<p>It is an objective of the ‘<i>Living Area</i>’ designation “<i>to ensure that new development is compatible with the character of the adjacent buildings (Section 3.3.1 e).</i>” The development is consistent with the existing waterfront residential character of the area, where neighbouring properties also contain shoreline structures and waterfront amenity areas.</p> <p>Compared to other waterfront lots in the vicinity, the subject property will retain a relatively less developed ‘<i>Shoreline Buffer Area</i>’, thereby maintaining a balanced relationship between built form and the natural shoreline environment.</p> <p>The subject property is located within the Lake Simcoe Watershed boundary, as shown on Schedule ‘F’ – Source Water Protection of the City’s Official Plan, and is subject to the policies of the Lake Simcoe Protection Plan, which seek to protect and restore water quality and the ecological functions of the shoreline. Section 4.7 b) ii) seeks to minimize the area of structures along the shoreline. The design of the structure efficiently accommodates multiple uses and allows for recreation enjoyment of the waterfront while maintaining a responsible setback from the shoreline.</p> <p>For these reasons, it is the opinion of the undersigned that the variance maintains the general intent and purpose of the Official Plan.</p>

Proposed Variance	<i>Is the variance minor in nature?</i>	<i>Is the variance desirable for the development or use of the land?</i>
Planning Justification		
<p>Section 5.1.4.8 b) Other Shoreline Structures <i>Side Lot Line Setback</i></p>	<p>The Minor Variance application seeks to allow for a building permit to be obtained for a partially constructed accessory shoreline structure within 1.2 metres of the east interior side lot line, whereas 2.0 metres is required for <i>“Other Shoreline Structures”</i>. A variance of 0.8 metres is required.</p> <p>The structure complies with height, lot coverage and other applicable setbacks.</p> <p>There is a row of cedar trees along the interior side lot line buffering the use from the abutting property to the east.</p> <p>When considering the cumulative impact of both the reduced interior side yard setback with the increased G.F.A of the partially constructed structure the variance can still be considered minor as the building is not expected to result in adverse impacts on adjacent properties or the natural shoreline area.</p> <p>For these reasons, it is the opinion of the undersigned that the variance is minor in nature.</p>	<p>The variance is desirable for the appropriate development and use of the land as it facilitates a functional accessory shoreline structure that improves the usability of the property’s waterfront amenity area and is not expected to result in adverse impacts on adjacent properties or the natural shoreline area.</p> <p>As stated previously, the built form of the structure is narrow, having a limited width (3.6 m) facing the shoreline, which also helps preserve views of the waterfront for adjacent properties.</p> <p>The roof is sloped whereby the taller portion faces the interior of the property, thus protecting privacy and views from the neighbouring property to the east.</p> <p>Further, the structure is buffered from the neighbouring property by a row of cedar trees.</p> <p>The structure is setback 13 metres from the shoreline, whereas only a 4 metre setback is required, the increased setback will allow for the natural shoreline area to remain undisturbed.</p> <p>For these reasons, it is the opinion of the undersigned that the variance is desirable for the development and use of the land.</p>

Proposed Variance	<i>Is the general intent and purpose of the Zoning By-law maintained?</i>	<i>Is the general intent and purpose of the Official Plan maintained?</i>
Planning Justification		
<p>Section 5.1.4.8 b) Other Shoreline Structures <i>Side Lot Line Setback</i></p>	<p>The intent of the minimum side lot line setback provision for <i>Other Shoreline Structures</i> in the City's Zoning By-law is to ensure that such structures are appropriately separated from adjacent lot lines to allow for maintenance access and to maintain privacy and views of the waterfront for neighbouring properties.</p> <p>The partially constructed structure meets the required interior side yard setback for an "<i>accessory building with Floor area Exceeding 15.0 m²</i>", however, the provisions for shoreline structures exceed these standards. As such, there is adequate space for maintaining the building without encroaching on the neighbouring property.</p> <p>The structure is partially buffered from sight from the neighbouring property by a row of cedar trees, which maintains privacy between the structure and shoreline uses on the abutting property to the east.</p> <p>For these reasons, it is the opinion of the undersigned that the variance maintains the general intent and purpose of the Zoning By-law.</p>	<p>As noted previously, the subject property is located within the Lake Simcoe Watershed boundary. Section 4.7 of the City's Official Plan implements the policies of the <i>Lake Simcoe Protection Plan</i> and provides that structures should only be permitted within the vegetation protection zone where no reasonable alternative location exists. In this instance, the chosen location is appropriate given the structure's intended waterfront function and the site constraints present on the property.</p> <p>The accessory structure has been positioned on a flatter portion of the yard, set back approximately 13.0 metres from the shoreline and outside the naturally vegetated shoreline area. Alternative siting options are limited by sloping topography, and relocating the structure closer to the centre of the lot would create greater visual intrusion from the dwelling, neighbouring properties, and the waterfront.</p> <p>The Official Plan also seeks to protect development from flood and erosion hazards. The proposed accessory structure is located appropriately setback from the shoreline and will comply with the minimum opening elevation of 220.5 metres C.G.S. required under Section 15.4 of the City's Zoning By-law.</p> <p>For these reasons, it is the opinion of the undersigned that the variance maintains the general intent and purpose of the Official Plan.</p>

6.0 PUBLIC CONSULTATION

In accordance with Provincial and City requirements, notice of the application will be issued by the City to property owners within 60 metres of the subject property detailing the date, time and attendance options for the statutory public hearing.

7.0 CONCLUSION

The Minor Variance application seeks to allow for a building permit to be obtained for a partially constructed accessory shoreline structure on the subject property. The structure is intended to provide covered storage and seating associated with the recreational use and enjoyment of the waterfront. It has been appropriately designed and sited to preserve waterfront views and is not expected to result in adverse impacts on the natural functions of the shoreline.

It is the professional planning opinion of the undersigned that the application and resulting development: has regard for applicable Provincial interests; is consistent with the Provincial Planning Statement; conforms with the City of Orillia Official Plan; meets the four tests of a Minor Variance as prescribed under Section 45(1) of the *Planning Act*; and, represents good land-use planning.

We trust this submission is complete and respectfully request that it be considered by the Committee of Adjustment at the next available meeting.

Respectfully submitted,
MORGAN Planning & Development Inc.



Lauren Arsenault, BA CPT
Planner



Joshua Morgan, RPP, MCIP
Principal Planner

Appendix 1

Site Photos

Photo 1 View of the Accessory Structure from the North (Shoreline)



Photo 2 View of the Accessory Structure from the South (Dwelling)



Photo 3 View of Accessory Structure from the East (note: slope and vegetation)



Photo 4 Natural Vegetation Along Shoreline/ Shoreline Development Along Abutting Property to the East



Photo 5 Condominium Development East of the Subject Property (located in close proximity to the shoreline)



STRUCTURAL DRAWING PACKAGE – FINAL POLISHED v2

GENERAL DESCRIPTION

Proposed single-storey wood-framed accessory structure on slab-on-grade, overall footprint 25'-0" x 12'-0", with shed roof sloping from 10'-0" at the front wall to 8'-0" at the rear wall.

FRONT WALL (PRIMARY OPENING WALL)

Front wall framed with 2x6 x 10' studs at 10" O.C. and double 2x6 top plates. Primary opening is 173" wide x 94" high, offset with 108" to the left side and 14" to the right side. Beam over opening consists of double LVL, approximately 12" deep x 185" long, installed tight to underside of the double top plate for direct bearing condition. Beam load is transferred through (2) king studs and (4) built-up 2x6 posts each side. Framing below the LVL is non-load-bearing infill used to establish the required rough opening height.

RIGHT WALL (WINDOW SIDE)

12'-0" long, sloping from 10'-0" front to 8'-0" rear. Framed with 2x4 studs @ 16" O.C. and double 2x4 top plates. Window opening is 24" wide x 76" high, sill at 18" above slab, located near the front corner and framed with full-height and interrupted studs as shown.

LEFT WALL

Mirror of right wall, same 10'-0" to 8'-0" slope, same framing concept, no window opening.

REAR WALL

25'-0" wide x 8'-0" high. Framed with 2x4 studs @ 10" O.C. and double 2x4 top plates. Rear elevation shows 2x10 roof joists aligned with stud layout and 18" side overhangs.

ROOF STRUCTURE

2x10 roof joists aligned for point loading onto supporting wall studs. Overhangs are 24" at the front, 12" at the rear, and 18" at each side.

LOAD PATH

Roof joists bear on top plates, transferring load to wall studs and post packs, then to slab. At the front opening, the LVL transfers concentrated load into king studs and built-up post assemblies.

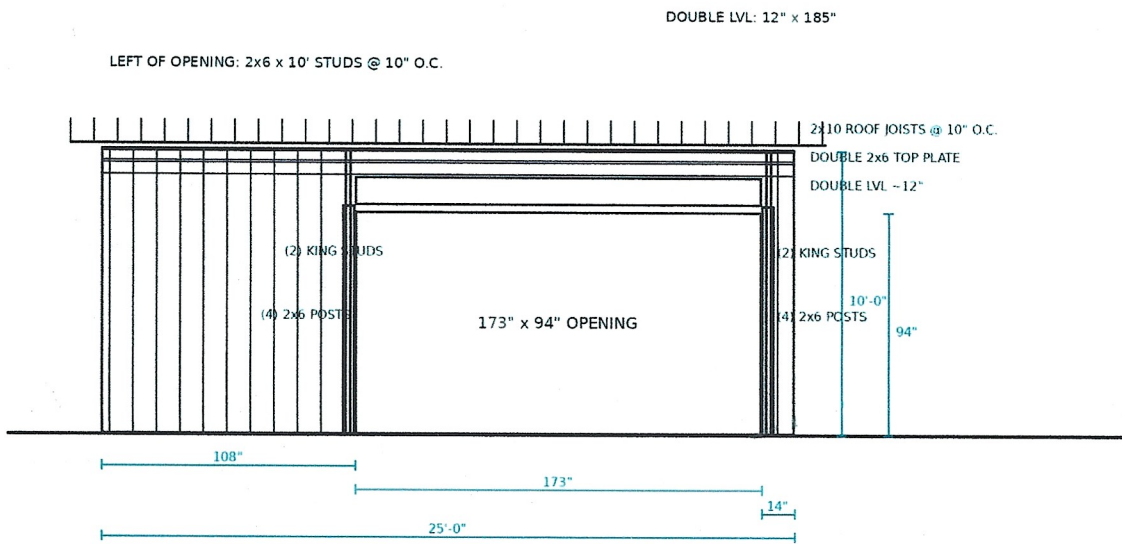
NOTE

This package is a builder-style structural concept set based on provided dimensions and framing intent.

FRONT ELEVATION

PROJECT	Accessory Structure
DRAWING	FRONT ELEVATION
SCALE	NTS
DATE	2026

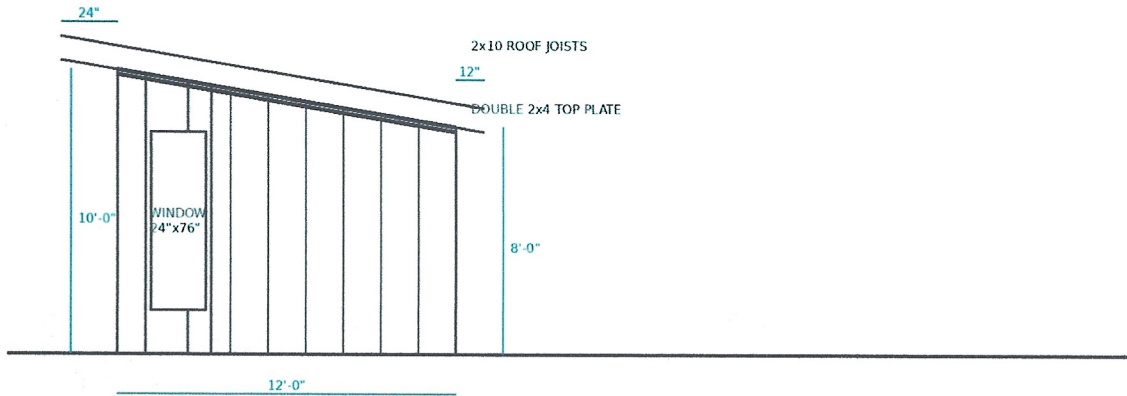
FRONT ELEVATION - FINAL COMPLETE



RIGHT WALL

PROJECT	Accessory Structure
DRAWING	RIGHT WALL
SCALE	NTS
DATE	2026

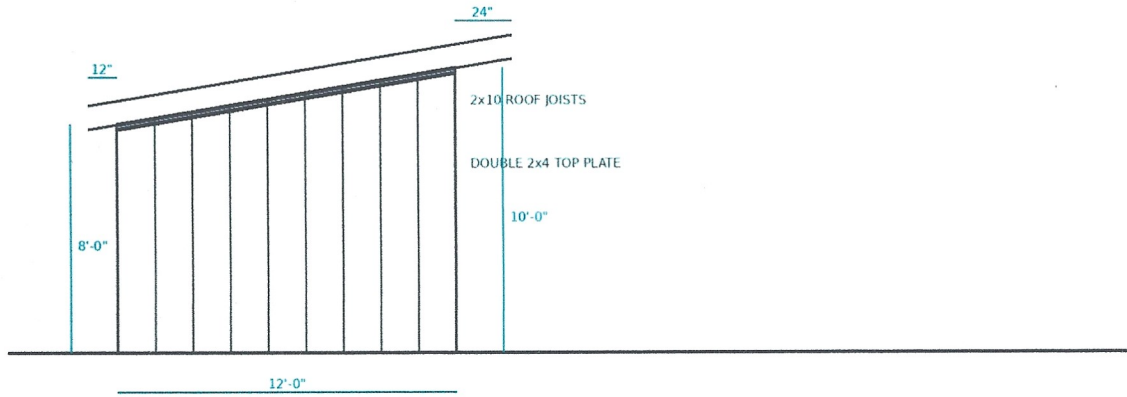
RIGHT WALL - FINAL CLEAN WINDOW



LEFT WALL

PROJECT	Accessory Structure
DRAWING	LEFT WALL
SCALE	NTS
DATE	2026

LEFT_WALL_DETAILED



REAR WALL

PROJECT	Accessory Structure
DRAWING	REAR WALL
SCALE	NTS
DATE	2026

REAR WALL - CORRECTED WITH ROOF & OVERHANGS

